

# PRELIMINARY LAND DEVELOPMENT PLANS FOR PROPOSED

# Trowbridge Village Lifestyle Center

## Trowbridge Road City of East Lansing, Michigan

PROJECT:

**TROWBRIDGE  
VILLAGE**  
LIFESTYLE CENTER  
EAST LANSING, MI

CLIENT:

**TROWBRIDGE  
VILLAGE LLC.**  
4520 N. GRAND RIVER AVE.  
LANSING, MI 48906

**Bergmann**  
associates  
architects // engineers // planners

1427 West Saginaw Street, Suite 200  
East Lansing, Michigan 48823

office: 517.272.9835  
fax: 517.272.9836

www.bergmannpc.com

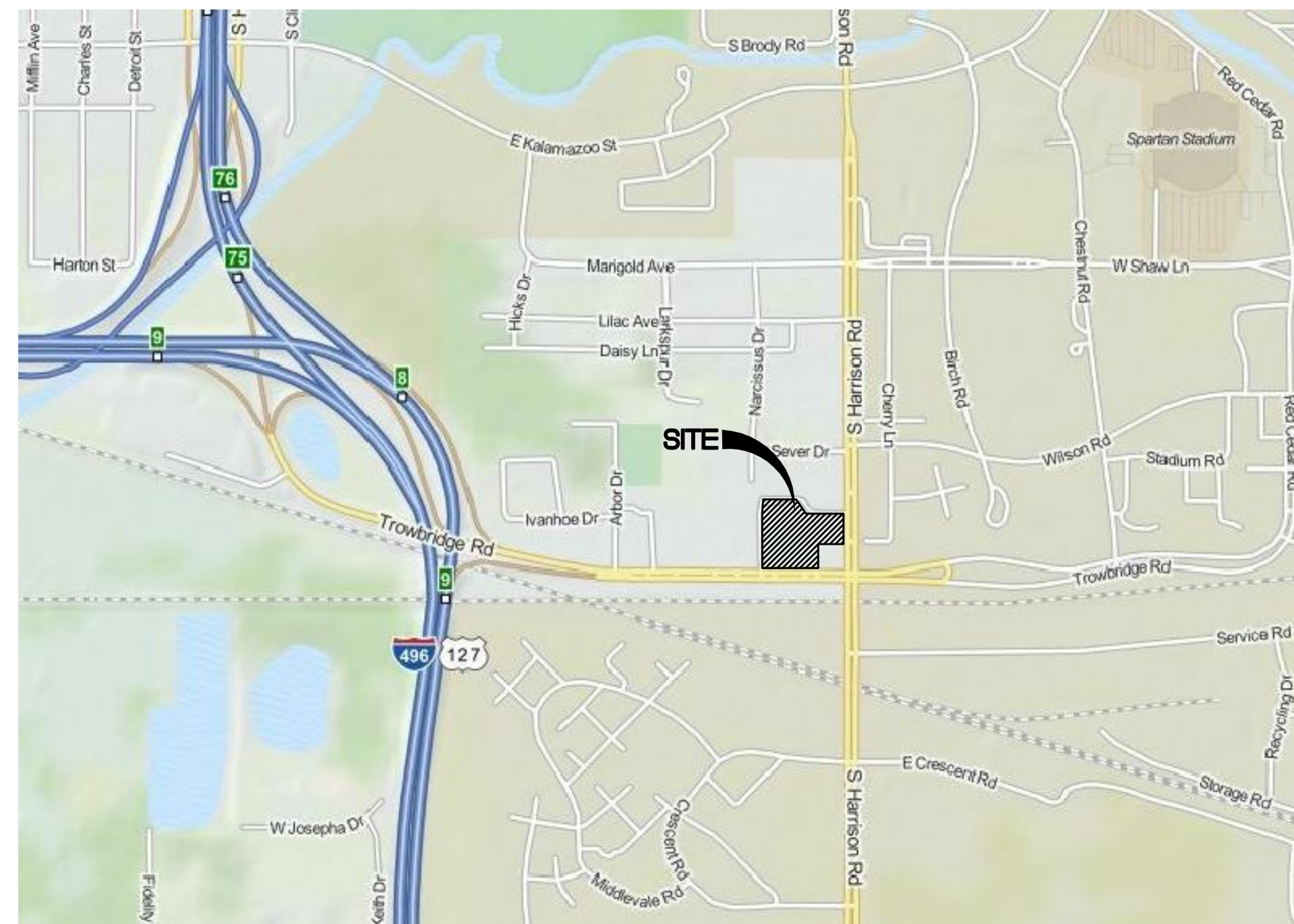
### PROJECT CONTACTS

**OWNER**  
TROWBRIDGE VILLAGE LLC  
4520 N. GRAND RIVER AVE.  
LANSING, MI 48906  
KEVIN MCGRAW MBR  
(517) 703-2132

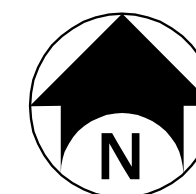
**CIVIL ENGINEER**  
BERGMANN ASSOCIATES  
1427 WEST SAGINAW STREET, SUITE 200  
EAST LANSING, MI 48823  
PAUL FURTAW, PE  
(517) 272-9835

### UTILITY AND JURISDICTIONAL CONTACTS

CITY OF EAST LANSING  
410 ABBOT ROAD  
EAST LANSING, MI 48823  
(517) 319-6930



SITE LOCATION MAP  
NOT TO SCALE



### SHEET INDEX

DRAWING NO. TITLE

#### CIVIL

- C000 COVER SHEET
- TOPOGRAPHIC SURVEY
- C100 SITE PLAN
- C110 PRELIMINARY UTILITY PLAN
- C120 PRELIMINARY GRADING PLAN
- L100 PRELIMINARY LANDSCAPE PLAN

#### ARCHITECTURAL – WEST BUILDING AND EAST BUILDING

- A1 FLOOR PLANS LEVELS 1 AND 2 – STUDENT APARTMENTS
- A2 FLOOR PLANS LEVELS 3-5 AND ROOF – STUDENT APARTMENTS
- A3 FLOOR PLANS LEVELS 1 AND 2 – MARKET RATE APTS.
- A4 FLOOR PLANS LEVELS 3-4 – MARKET RATE APTS.
- A5 FLOOR PLAN / TYPICAL UNIT PLANS
- A6 ELEVATIONS AND CROSS SECTION – MARKET RATE UNITS
- A7 ELEVATIONS AND CROSS SECTION – STUDENT UNITS

#### ARCHITECTURAL – WENDY'S

- 4 FLOOR PLAN
- 5 EXTERIOR ELEVATIONS

#### ARCHITECTURAL – FACADE REIMAGING

- EXISTING EXTERIOR ELEVATIONS
- PROPOSED EXTERIOR ELEVATIONS

### LEGEND

- INCLUDED WITH THIS SUBMISSION
- NOT INCLUDED WITH THIS SUBMISSION

REVISIONS				
NO.	DATE	DESCRIPTION	REV.	CKD
1	10/15/13	LAND USE DEVELOPMENT APPLICATION SUBMISSION		

### COVER SHEET

Project Manager:  
**P. FURTAW**  
Designed by:  
**P. FURTAW**  
Drawn by:  
**A. NODARSE**  
Checked by:  
**P. FURTAW**  
Date Issued:  
October 15, 2013  
Scale:  
**AS SHOWN**

Date:  
Project Number:  
**C000**  
Drawing Number:



**C000**

**EXHIBIT A – LEGAL DESCRIPTION:**

AS STATED IN THE COMMITMENT FOR TITLE INSURANCE, LIBERTY TITLE AGENCY, FILE NO. CM22428, REVISION NO. 0 (EFFECTIVE DATE SEPTEMBER 26, 2013).

THE LAND REFERRED TO IN THIS COMMITMENT IS LOCATED IN THE CITY OF EAST LANSING, COUNTY OF INGHAM, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:  
 LOT 2, 3, 4, 5, 6 AND 7, SUNRISE CENTER, CITY OF EAST LANSING, AS RECORDED IN LIBER 35 OF PLATS, PAGE(S) 26, INGHAM COUNTY RECORDS.  
 COMMONLY KNOWN AS: 920 – 1020 TROWBRIDGE ROAD, EAST LANSING, MI 48823.

**SCHEDULE B – SECTION II EXCEPTIONS:**

ITEM 4. EASEMENTS AS SHOWN ON THE RECORDED PLAT ARE SHOWN HEREON.

ITEM 7. TERMS, CONDITIONS AND PROVISIONS OF LEASE AGREEMENT BETWEEN JAMES L. TOPPER AND SANDRA J. TOPPER, HUSBAND AND WIFE AND SUNRISE DEVELOPMENT CORPORATION, A MICHIGAN CORPORATION, AS DISCLOSED BY INSTRUMENTS RECORDED IN LIBER 1022, PAGE 580, LIBER 1022, PAGE 597, LIBER 1209, PAGE 746, LIBER 1871, PAGE 24, LIBER 1871, PAGE 26, LIBER 1871, PAGE 28, LIBER 1871, PAGE 30, LIBER 1871, PAGE 32, LIBER 1871, PAGE 34, LIBER 2749, PAGE 352, LIBER 2749, PAGE 358 AND IN LIBER 2804, PAGE 335, INGHAM COUNTY RECORDS. DRIVEWAY EASEMENT DESCRIBED IN LIBER 1022, PAGE 58 AND AMENDED IN LIBER 1209, PAGE 746 DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOT 2 LEASE)

ITEM 8. RIGHT OF WAY IN FAVOR OF THE DRAIN COMMISSIONER OF THE COUNTY OF INGHAM, AS SHOWN IN LIBER 65 OF MISCELLANEOUS RECORDS, PAGE 615, LIBER 65 OF MISCELLANEOUS RECORDS, PAGE 618, LIBER 65 OF MISCELLANEOUS RECORDS, PAGE 622, LIBER 65 OF MISCELLANEOUS RECORDS, PAGE 631, LIBER 815, PAGE 56 AND IN LIBER 835, PAGE 115, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON.

ITEM 9. EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY AND MICHIGAN BELL TELEPHONE COMPANY, AS RECORDED IN LIBER 1129, PAGE 118; AMENDED IN LIBER 1218, PAGE 480, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOT 2)

ITEM 10. EASEMENT IN FAVOR OF SUNRISE DEVELOPMENT CORPORATION, AS RECORDED IN LIBER 1209, PAGE 742, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOT 2)

ITEM 11. SUBJECT TO TERMS AND CONDITIONS OF MEMORANDUM OF SPECIAL USE PERMIT, AS RECORDED IN LIBER 3317, PAGE 401, INGHAM COUNTY RECORDS. (AS TO LOT 2)

ITEM 12. SUBJECT TO TERMS AND PROVISIONS OF A LEASE AGREEMENT BETWEEN SUBWAY REAL ESTATE CORP. AND COPL REAL ESTATE GROUP, LLC, AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 2970, PAGE 122, INGHAM COUNTY RECORDS (AS TO LOT 4, 5 AND 6)

ITEM 13. TERMS AND CONDITIONS OF MEMORANDUM OF AGREEMENT, AS RECORDED IN LIBER 793, PAGE 836 AND AMENDED IN LIBER 986, PAGE 156; AMENDED IN LIBER 986, PAGE 156, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOTS 4 AND 6)

ITEM 14. RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY, AS RECORDED IN LIBER 838, PAGE 666, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOTS 4 AND 6)

ITEM 15. GRANT OF EASEMENT IN FAVOR OF THE CITY OF EAST LANSING, AS RECORDED IN LIBER 1024, PAGE 406, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOTS 6 AND 7)

ITEM 16. EASEMENT IN FAVOR OF MICHIGAN BELL TELEPHONE COMPANY, A MICHIGAN CORPORATION DBA AT&T MICHIGAN, AS RECORDED IN LIBER 3358, PAGE 894, INGHAM COUNTY RECORDS DOES ENCUMBER THE LAND DESCRIBED ABOVE AND IS SHOWN HEREON. (AS TO LOT 7)

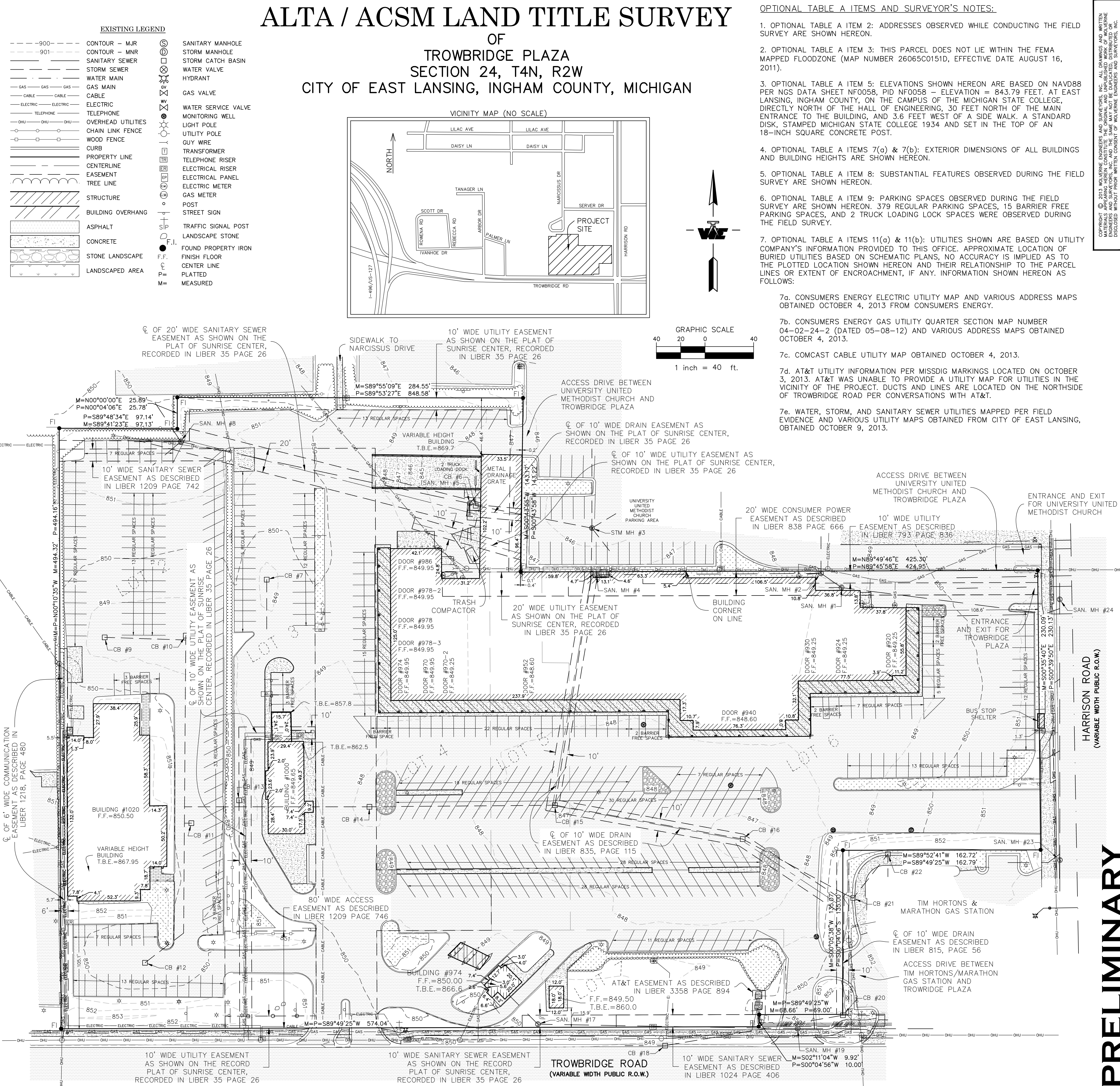
**CERTIFICATION:**

TO \*\*\*\*\*LIBERTY TITLE AGENCY, CHICAGO TITLE INSURANCE COMPANY, AND CADDIS DEVELOPMENT GROUP\*\*\*\*\*:  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 5, 7(a), 7(c), 8, 9, 11(a), AND 11(b) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 20, 2013.

GREG VAUGHN P.S. #41113  
 gregv@wolveng.com

NOTE: THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MISS DIG MARKINGS OR ABOVE GROUND UTILITIES LOCATED IN THE FIELD OR PLANS MADE AVAILABLE BY VARIOUS UTILITY PROVIDERS. WOLVERINE ENGINEERS AND SURVEYORS, INC. MAKES NO WARRANTIES AS TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION PROVIDED BY VARIOUS UTILITY COMPANIES. UTILITIES NOT VISIBLE AT THE TIME OF THE FIELD SURVEY OR UTILITIES NOT DISCLOSED WITHIN THE TITLE COMMITMENT PROVIDED BY THE CLIENT HAVE NOT BEEN SHOWN AND WOLVERINE ENGINEERS AND SURVEYORS, INC. TAKES NO RESPONSIBILITY OF THESE UNKNOWN UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN ACCORDANCE WITH MICHIGAN P.A. NO. 53 OF 1974.

STRUCTURE INFORMATION			
R.E. = RIM ELEVATION		I.E. = INVERT ELEVATION	
SAN. MH #1	CB #6	CB #13	CB #20
R.E. 849.14	R.E. 846.98	R.E. 848.12	R.E. 851.48
I.E. 4" S 845.94	I.E. 4" N 842.28	I.E. 6" S 845.17	I.E. 12" W 842.33
I.E. 8" E 844.27	I.E. 10" E 840.88		I.E. 18" E 840.61
I.E. 8" W 844.27		CB #14	I.E. 18" N 840.63
I.E. 10" NW 844.31	CB #7	R.E. 847.61	
	R.E. 848.38	I.E. 12" W 842.66	CB #21
R.E. 848.48	I.E. 6" S 845.03	I.E. 15" E 842.51	R.E. 851.52
I.E. 6" N 844.48	SAN. MH #8	CB #15	I.E. 30" NE 845.22
I.E. 10" SE 844.26	R.E. 851.49	R.E. 846.83	I.E. 8" WSW 848.42
I.E. 10" W 844.28	I.E. 8" SW 842.19	I.E. 18" E 839.83	I.E. 8" WSW 845.32
I.E. 4" W 845.23	I.E. 10" W 837.99	I.E. 18" N 839.88	CB #22
	I.E. 10" E 838.23	I.E. 18" W 840.33	R.E. 851.54
STM. MH #3	I.E. 4" NW 839.92	I.E. 30" SW 845.74	
R.E. 844.82	I.E. 4" NW 844.99	CB #16	I.E. 6" S 847.74
I.E. 24" N 839.29		R.E. 846.59	
I.E. 24" S 839.49	CB #9	I.E. 18" W 839.84	SAN. MH #23
I.E. 10" W 840.02	R.E. 848.28	I.E. 18" SE 839.84	R.E. 851.00
I.E. 2" NE 842.82	I.E. 8" E 846.68		I.E. 8" N 844.55
I.E. 10" SE 839.32		SAN. MH #17	I.E. 8" S 844.6
	CB #10	R.E. 849.89	
SAN. MH #4	R.E. 848.27	I.E. 4" NW 847.44	SAN. MH #24
R.E. 848.13	I.E. 12" S 845.67	I.E. 8" E 847.14	R.E. 850.62
I.E. 6" S 845.63			I.E. 8" N 843.62
I.E. 8" E 844.48	CB #11	CB #18	I.E. 8" S 843.62
	R.E. 849.12	R.E. 848.24	
SAN. MH #5	I.E. 12" W 845.37	I.E. 12" E 844.09	
R.E. 847.03		I.E. 12" S 844.09	
I.E. 6" S 839.83	CB #12		
I.E. 4" S 840.43	R.E. 849.14	SAN. MH #19	
I.E. 4" SSW 840.88	I.E. 12" NE 845.09	R.E. 849.63	
I.E. 10" W 839.68		I.E. 8" W 846.13	
I.E. 3" NE 844.43		I.E. 8" E 846.13	



# TROWBRIDGE VILLAGE

## LIFESTYLE CENTER

### EAST LANSING, MI

CLIENT:

**TROWBRIDGE VILLAGE LLC.**  
 4520 N. GRAND RIVER AVE.  
 LANSING, MI 48906

**Bergmann associates**  
 architects // engineers // planners

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REVISIONS			
NO.	DATE	DESCRIPTION	REV. CKD
10/15/13		LAND USE DEVELOPMENT APPLICATION SUBMISSION	

## SITE PLAN

Project Manager:

Designed by:

Drawn by:

Checked by:

Date Issued:

Scale:

Date:

Drawing Number:

File Name:

C100.dwg

# C100



Know what's below.  
Call before you dig.

### GENERAL NOTES:

1. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK.
2. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION(OSHA).
3. DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
4. REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
5. THE CONTRACTOR SHALL CONSULT THE OWNER MANAGER BEFORE DEVIATING FROM THESE PLANS.
6. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE, USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
7. ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
8. AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 AT LEAST 3 WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES, DESIGN STANDARDS AND STANDARD SPECIFICATIONS OF THE AGENCIES WHICH HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS INCLUDED IN THESE PLANS.
11. UNLESS SPECIFICALLY STATED, THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT PRIOR TO THE BEGINNING OF WORK FROM THE PREVIOUSLY MENTIONED AGENCIES.
12. THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
13. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AND COORDINATE THE WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
14. THE CONTRACTOR IS TO VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE/SHE IS BUILDING FROM ARE THE VERY LATEST PLANS AND SPECIFICATIONS THAT HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
15. SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE/SHE SHALL SEEK CLARIFICATION IN WRITING FROM THE OWNER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.
16. THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS FROM APPROVED DRAWINGS.
17. ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.M.U.T.C.D.).
18. ALL INFRASTRUCTURE, BOTH PUBLIC AND PRIVATE, SHALL CONFORM WITH THE REQUIREMENTS OF THE GOVERNING MUNICIPALITY OR PUBLIC ENTITY WHERE APPLICABLE. NOTE THAT NOT ALL OF THE REQUIREMENTS ARE LISTED ON THESE PLANS AND/OR RELATED SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL APPLICABLE REQUIREMENTS ARE ADHERED TO.

### SITE DATA:

**ZONING:** SITE - RETAIL SALES BUSINESS DISTRICT, B-2  
 NORTH - CITY CENTER MULTIPLE - FAMILY RESIDENTIAL, RM32  
 COMMUNITY FACILITIES DISTRICT, C  
 EAST - UNIVERSITY DISTRICT, U  
 WEST - RETAIL SALES BUSINESS, B-2

**LAND USE:** SITE - RETAIL (EXISTING)  
 MULTIPLE FAMILY APARTMENTS (PROPOSED)

**LOT AREA:** 7.56 ACRES

**FRONTAGE:** 643' ALONG TROWBRIDGE RD.  
 230' ALONG HARRISON RD.

**SETBACKS:** FRONT: NONE REQUIRED  
 REAR: NONE REQUIRED  
 SIDE: NONE REQUIRED

**BUILDING AREA REQUIREMENTS:** NONE

**PARKING:**  
 BUILDING WEST: 1 BR APARTMENTS - 32 APARTMENTS = 32 SPACES REQUIRED\*  
 2 BR APARTMENTS - 64 APARTMENTS = 96 SPACES REQUIRED\*  
 4 BR APARTMENTS - 8 APARTMENTS = 28 SPACES REQUIRED\*  
 BUILDING EAST: 1 BR APARTMENTS - 6 APARTMENTS = 6 SPACES REQUIRED\*  
 2 BR APARTMENTS - 24 APARTMENTS = 36 SPACES REQUIRED\*  
 CAFE 800 SQFT SEATING AREA = 16 SPACES REQUIRED  
 1 PER 50 SQFT SEATING AREA = 16 SPACES REQUIRED

**RESTAURANT:** 1400 SQFT SEATING AREA = 28 SPACES REQUIRED  
 1 PER 50 SQFT SEATING AREA = 155 SPACES REQUIRED

**RETAIL:** 46,224 SQFT - 1 PER 300 SQFT = 154 SPACES REQUIRED

397 TOTAL SPACES REQUIRED  
 464 TOTAL SPACES PROVIDED

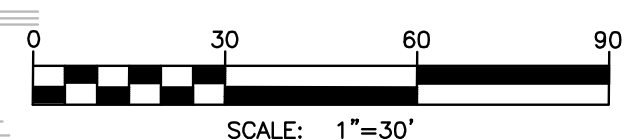
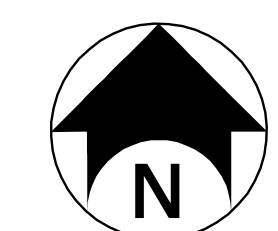
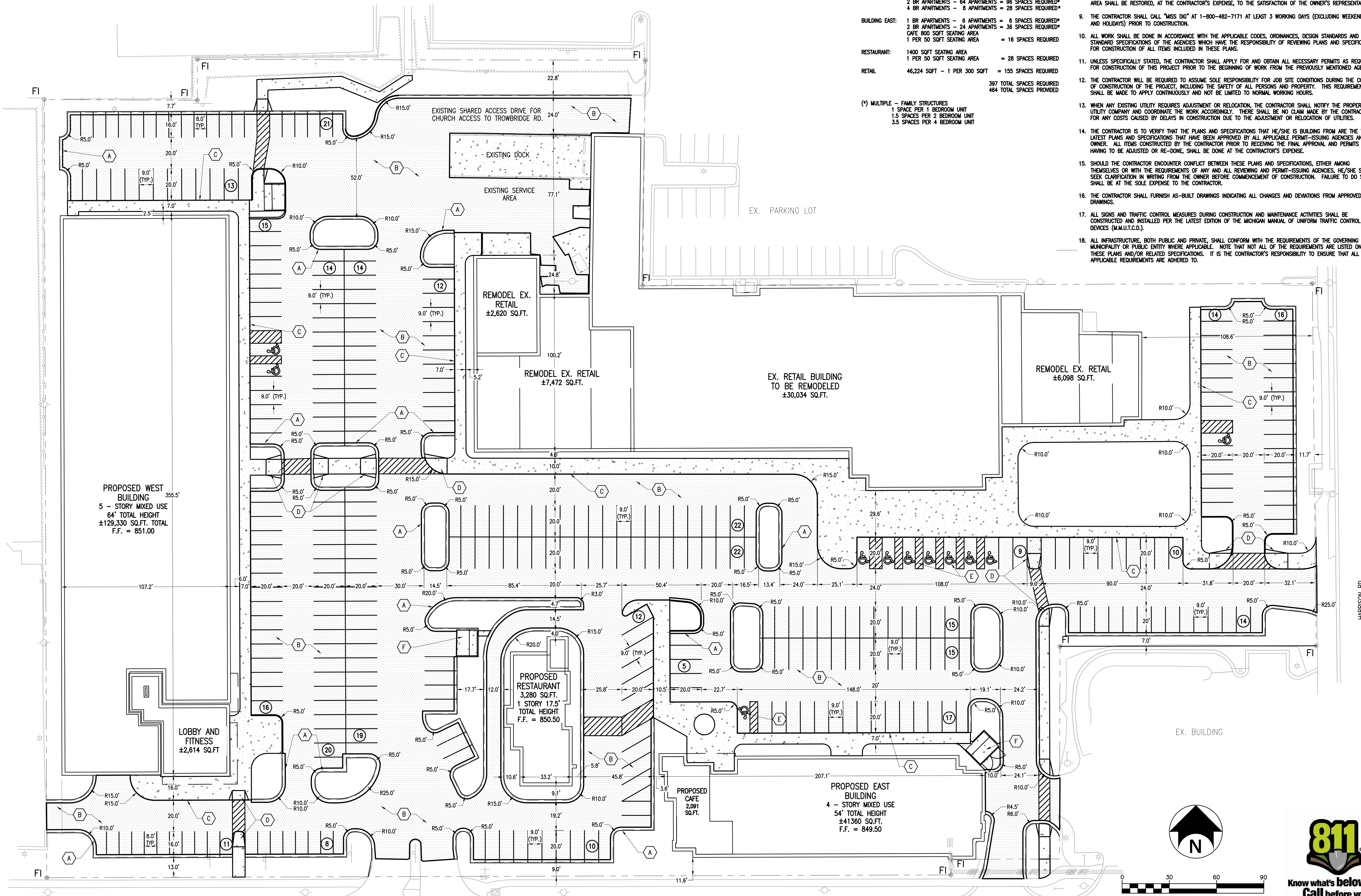
(\*) MULTIPLE - FAMILY STRUCTURES  
 1 SPACE PER 1 BEDROOM UNIT  
 1.5 SPACES PER 2 BEDROOM UNIT  
 3.5 SPACES PER 4 BEDROOM UNIT

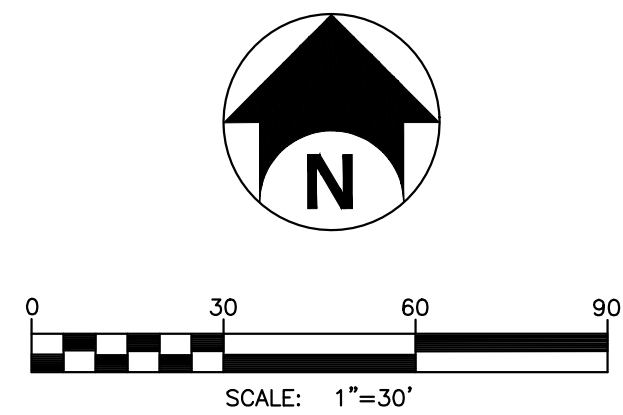
### KEY NOTES:

- A. CONCRETE CURB AND GUTTER (TYP.)
- B. STANDARD PAVEMENT SECTION
- C. THICKENED EDGE WALK
- D. BARRIER FREE RAMP
- E. BARRIER FREE SPACES WITH APPROPRIATE SIGNAGE AND STRIPING PER APPLICABLE STATE AND LOCAL OR FEDERAL REQUIREMENTS (TYP.)
- F. DUMPSTER ENCLOSURE

### LEGEND:

- CONCRETE
- HMA STANDARD PAVEMENT SECTION
- HMA HEAVY-DUTY PAVEMENT SECTION
- KEY NOTE
- NUMBER OF PARKING SPACES





**UTILITY LEGEND:**

- RIRRAP
- STORM SEWER
- CATCH BASIN
- STORM MANHOLE
- HYDRANT
- VALVE/CURB BOX
- WATER SERVICE
- SANITARY SEWER
- CLEANOUT

**UTILITY NOTES:**

1. ALL WORKMANSHIP, MATERIALS, AND CONSTRUCTION PRACTICES SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF EAST LANSING OR THE AGENCY HAVING JURISDICTION OVER THE APPLICABLE UTILITY.
2. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS THE CONFLICT IS DISCOVERED.
6. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE.
7. DRAWINGS DO NOT ATTEMPT TO SHOW ALL EXISTING UTILITIES.
8. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
9. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE UTILITY OWNERS.
10. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
11. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
12. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND ELEVATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
13. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
14. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
15. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE SIZES AND INVERTS ELEVATIONS BEFORE ORDERING MANHOLE AND CATCH BASIN STRUCTURES.
16. ALL UTILITIES BELOW PAVED AREAS SHALL BE BACKFILLED WITH 100% GRANULAR MATERIAL (OR APPROVED OTHER) AND COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.
17. ALL RIM ELEVATIONS IN OUTLAIN AREAS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED BY THE CONTRACTOR AFTER FINAL GRADES ARE ESTABLISHED.
18. ALL WORK WITHIN THE RIGHTS-OF-WAY SHALL CONFORM TO THE REQUIREMENTS OF THE EAST LANSING.

PROJECT:

**TROWBRIDGE VILLAGE**  
LIFESTYLE CENTER  
EAST LANSING, MI

CLIENT:

**TROWBRIDGE VILLAGE LLC.**  
4520 N. GRAND RIVER AVE.  
LANSING, MI 48906



1427 West Saginaw Street, Suite 200  
East Lansing, Michigan 48823

office: 517.272.9835  
fax: 517.272.9836

www.bergmannpc.com

REVISIONS			
NO.	DATE	DESCRIPTION	REV. CKD
1	10/15/13	LAND USE DEVELOPMENT APPLICATION SUBMISSION	

**PRELIMINARY UTILITY PLAN**

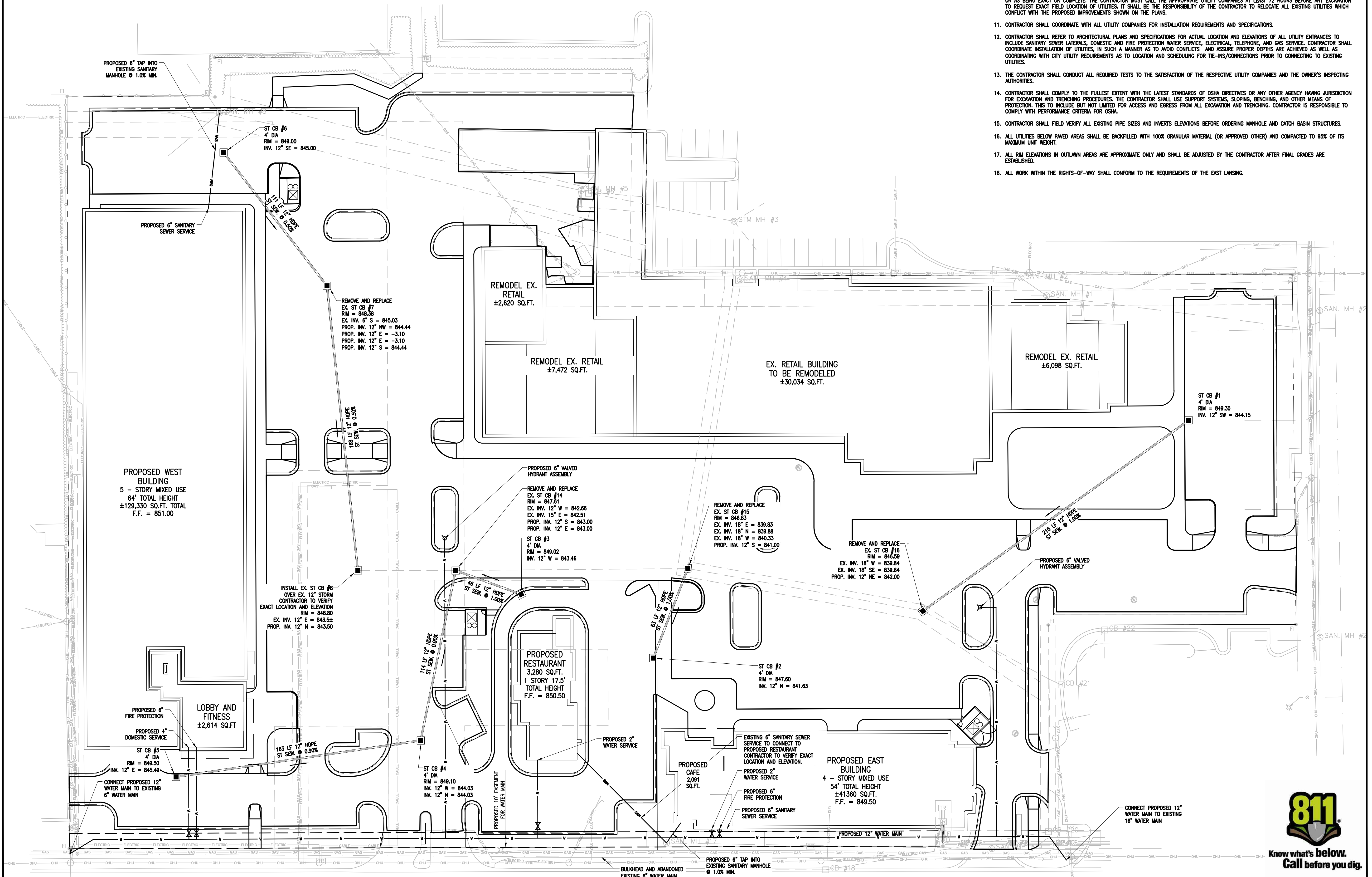
Project Manager:  
**P. FURTAW**  
Designed by:  
**P. FURTAW**  
Drawn by:  
**A. NODARSE**  
Checked by:  
**P. FURTAW**  
Date Issued:  
October 15, 2013  
Scale:  
1"=30'

Date: \_\_\_\_\_  
Project Number: \_\_\_\_\_  
File Name: C110.dwg

Drawing Number:



**C110**



# TROWBRIDGE VILLAGE

LIFESTYLE CENTER  
EAST LANSING, MI

CLIENT:

**TROWBRIDGE VILLAGE LLC.**  
4520 N. GRAND RIVER AVE.  
LANSING, MI 48906



1427 West Saginaw Street, Suite 200  
East Lansing, Michigan 48823

office: 517.272.9835  
fax: 517.272.9836

www.bergmannpc.com

REVISIONS			
NO.	DATE	DESCRIPTION	REV. CKD
10/15/13		LAND USE DEVELOPMENT APPLICATION SUBMISSION	

## PRELIMINARY GRADING PLAN

Project Manager:	P. FURTAW
Designed by:	P. FURTAW
Drawn by:	A. NODARSE
Checked by:	P. FURTAW
Date Issued:	October 15, 2013
Scale:	1"=30'

Date: \_\_\_\_\_  
Project Number: \_\_\_\_\_ File Name: C120.dwg  
Drawing Number: \_\_\_\_\_



Know what's below.  
Call before you dig.

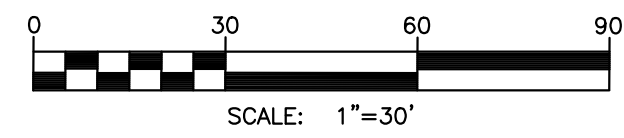
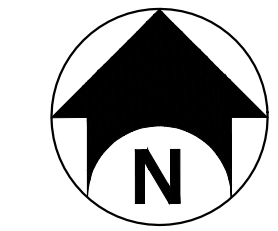
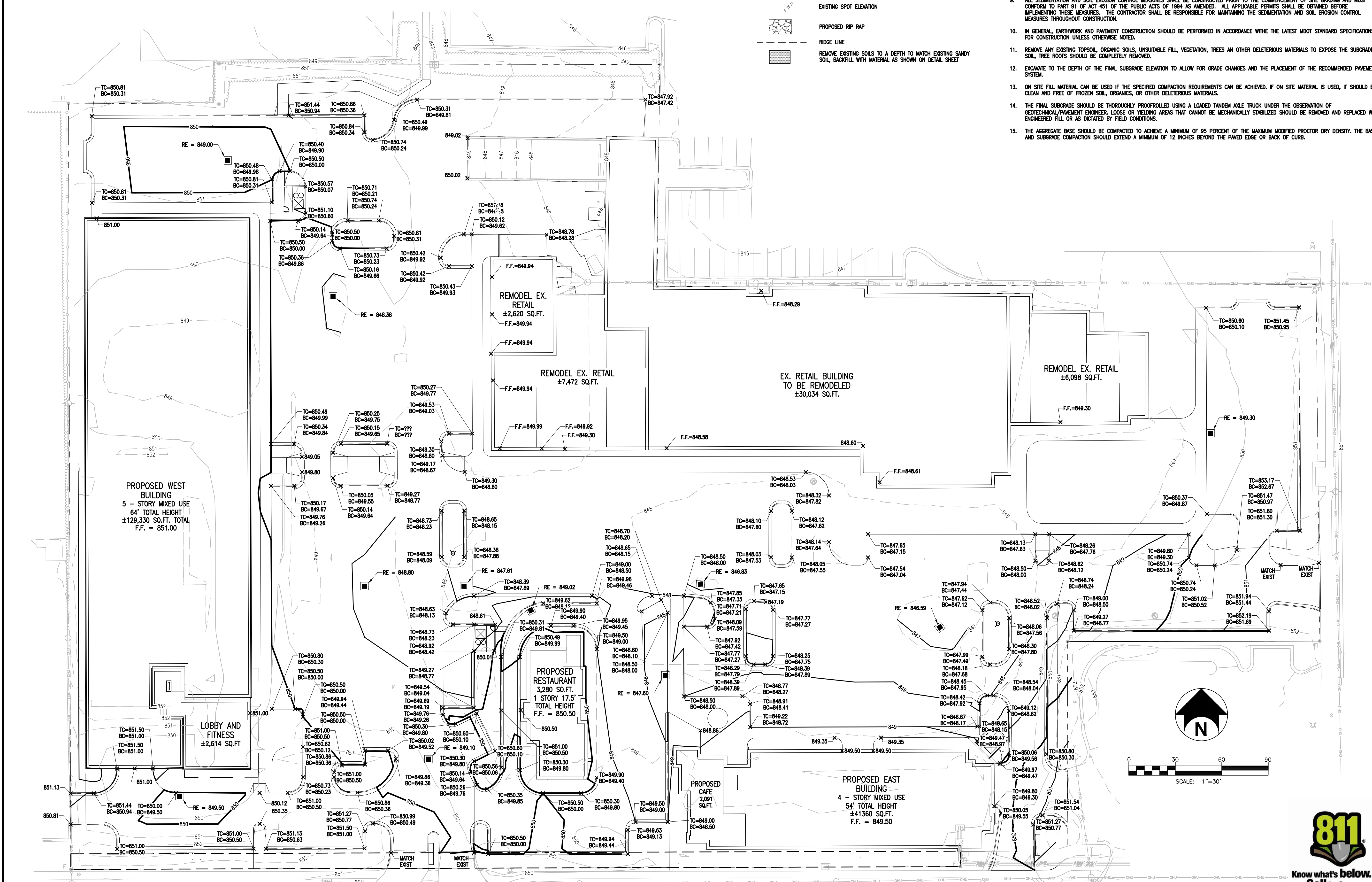
# C120

### GRADING NOTES

- REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR REQUIRED EROSION AND SEDIMENT CONTROL MEASURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
- ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
- SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.
- ALL SITE GRADING MUST BE PERFORMED TO INSURE POSITIVE DRAINAGE ACROSS THE ENTIRE SITE, THROUGHOUT THE PERIOD OF CONSTRUCTION AND AFTER PROJECT COMPLETION.
- ALL SEDIMENTATION AND SOIL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF SITE GRADING AND MUST CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 AS AMENDED. ALL APPLICABLE PERMITS SHALL BE OBTAINED BEFORE IMPLEMENTING THESE MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SEDIMENTATION AND SOIL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
- IN GENERAL, EARTHWORK AND PAVEMENT CONSTRUCTION SHOULD BE PERFORMED IN ACCORDANCE WITH THE LATEST MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
- REMOVE ANY EXISTING TOPSOIL, ORGANIC SOILS, UNSUITABLE FILL, VEGETATION, TREES OR OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHOULD BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- ON SITE FILL MATERIAL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON SITE MATERIAL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
- THE FINAL SUBGRADE SHOULD BE THOROUGHLY PROOFROLLED USING A LOADED TANDEM AXLE TRUCK UNDER THE OBSERVATION OF GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- THE AGGREGATE BASE SHOULD BE COMPACTED TO ACHIEVE A MINIMUM OF 95 PERCENT OF THE MAXIMUM MODIFIED PROCTOR DRY DENSITY. THE BASE AND SUBGRADE COMPACTION SHOULD EXTEND A MINIMUM OF 12 INCHES BEYOND THE PAVED EDGE OR BACK OF CURB.

### LEGEND:

- 75 — PROPOSED MAJOR CONTOUR
- 76 — PROPOSED MINOR CONTOUR
- × TC=78.01  
BC=77.51 PROPOSED TOP OF CURB / BOTTOM OF CURB ELEVATION
- TC/1W=152.50 PROPOSED TOP OF CURB / TOP OF WALL
- × 77.73 PROPOSED SPOT ELEVATION
- × HP=77.73 PROPOSED HIGH POINT ELEVATION
- × RE=77.73 PROPOSED RIM ELEVATION
- × FF=77.73 FINISHED FLOOR ELEVATION
- 2.5% PROPOSED SLOPE
- - - 72 - - - EXISTING CONTOUR
- - - 72 - - - EXISTING TOP OF CURB / BOTTOM OF CURB ELEVATION
- - - 72 - - - EXISTING SPOT ELEVATION
- PROPOSED RIP RAP
- RIIDGE LINE
- REMOVE EXISTING SOILS TO A DEPTH TO MATCH EXISTING SANDY SOIL. BACKFILL WITH MATERIAL AS SHOWN ON DETAIL SHEET



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## LIFESTYLE CENTER

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REVISIONS			
NO.	DATE	DESCRIPTION	REV. CKD
1	10/15/13	LAND USE DEVELOPMENT APPLICATION SUBMISSION	

## PRELIMINARY LANDSCAPE PLAN

Project Manager:  
**P. FURTAW**  
 Designed by:  
**P. FURTAW**  
 Drawn by:  
**A. NODARSE**  
 Checked by:  
**P. FURTAW**  
 Date Issued:  
 October 15, 2013  
 Scale:  
 1"=30'

Date: \_\_\_\_\_  
 Project Number: \_\_\_\_\_ File Name: **L100.dwg**  
 Drawing Number: \_\_\_\_\_

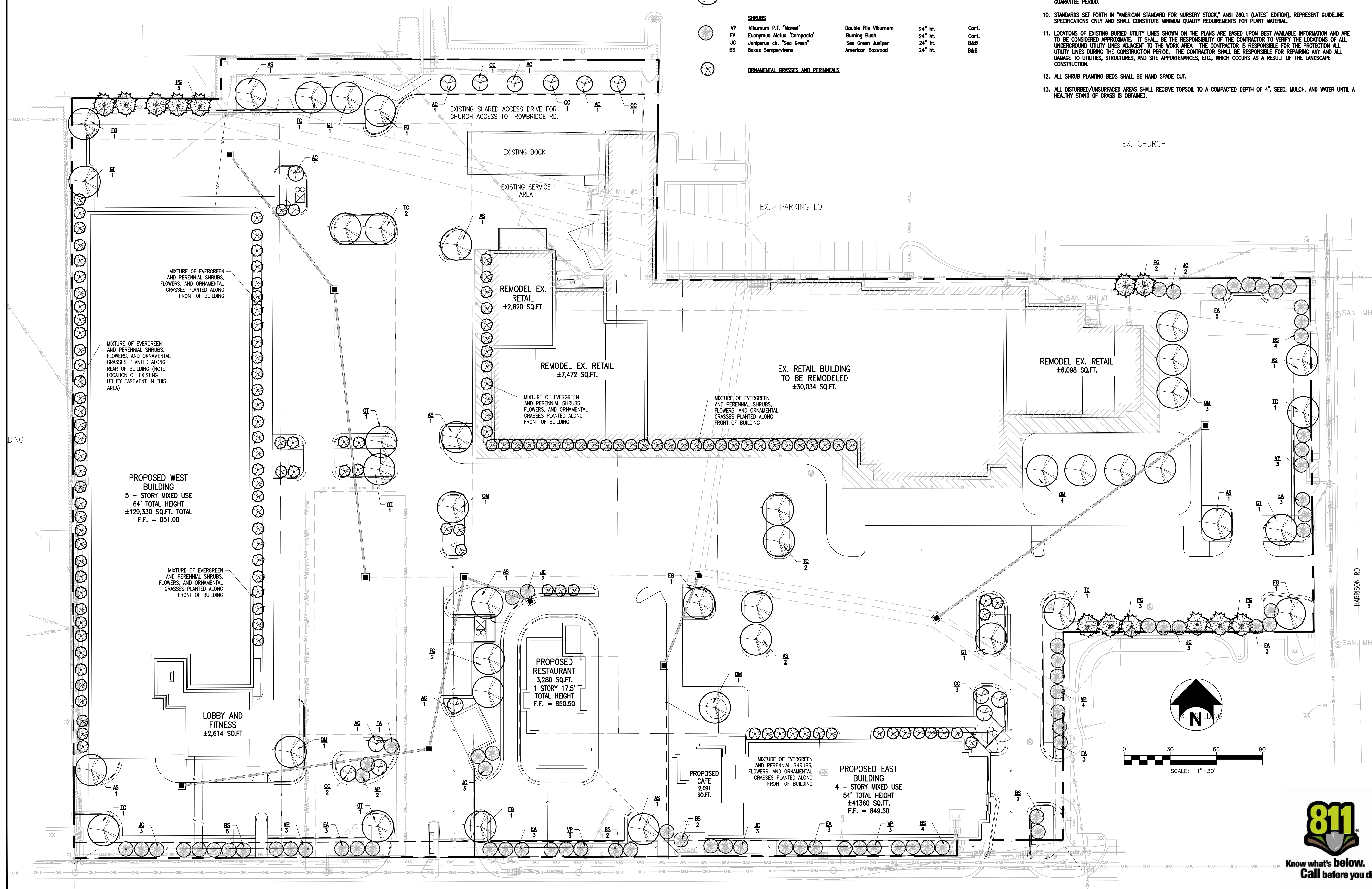
# L100

### PLANT LIST:

SYMBOL	KEY	SCIENTIFIC NAME	COMMON NAME	INSTALLED SIZE	CONDITION
<b>SHADE TREES</b>					
AS		<i>Acer saccharum</i>	Sugar Maple	2 1/2" cal.	B&B
TC		<i>Tilia Cordata</i>	Little Leaf Linden	2 1/2" cal.	B&B
GT		<i>Gleditsia Tricacanthos var Inermis</i>	Thornless Honeylocust	2 1/2" cal.	B&B, multi-stem
FG		<i>Fagus Grandifolia</i>	American Beech	2 1/2" cal.	B&B
QM		<i>Quercus macrocarpa</i>	Bur Oak	2 1/2" cal.	B&B
<b>EVERGREEN TREES</b>					
PG		<i>Picea glauca</i>	White Spruce	6' ht.	B&B
<b>ORNAMENTAL / FLOWERING TREES</b>					
AC		<i>Amelanchier canadensis</i>	Shadblow Serviceberry	2" cal.	B&B, Multi-stem
CC		<i>Cercis canadensis</i>	Eastern Redbud	2" cal.	B&B
<b>SHRUBS</b>					
VP		<i>Viburnum P.T. 'Moresi'</i>	Double File Viburnum	24" ht.	Cont.
EA		<i>Euonymus Alatus 'Compactus'</i>	Burning Bush	24" ht.	Cont.
JC		<i>Juniperus ch. 'Sea Green'</i>	Sea Green Juniper	24" ht.	B&B
BS		<i>Buxus Sempervirens</i>	American Boxwood	24" ht.	B&B
<b>ORNAMENTAL GRASSES AND PERENNIALS</b>					

### LANDSCAPING NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE SUITABLE FOR USE IN THE SOIL AND CLIMATE CONDITIONS OF THE PROJECT.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- MULCH ALL PLANTINGS WITH SHREDDED HARDWOOD BARK MULCH, TO A MINIMUM DEPTH OF FOUR INCHES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO (2) YEARS BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK," ANSI Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- ALL SHRUB PLANTING BEDS SHALL BE HAND SPADE CUT.
- ALL DISTURBED/UNSURFACED AREAS SHALL RECEIVE TOPSOIL TO A COMPACTED DEPTH OF 4", SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.



**TROWBRIDGE VILLAGE**  
LIFESTYLE CENTER  
EAST LANSING, MI

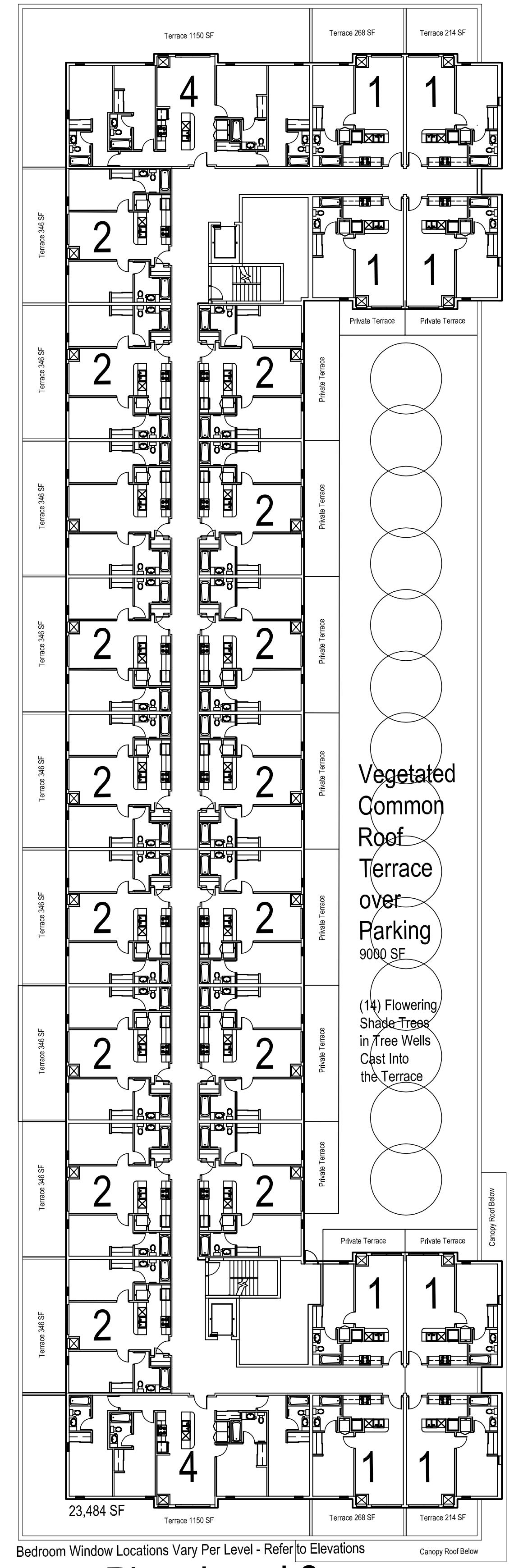
Revisions

**10-15-13 Land Use Development Application Submission**

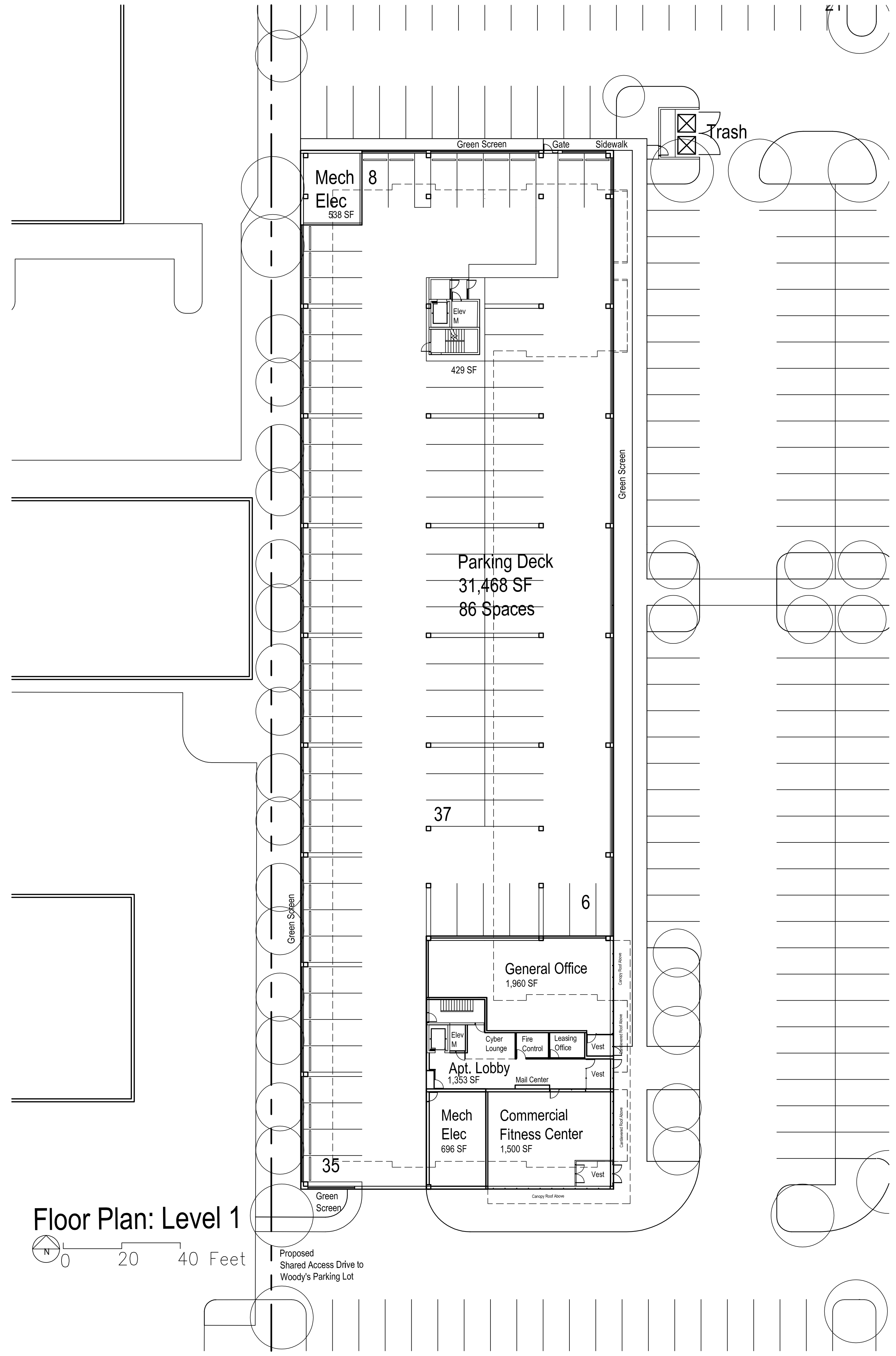
Date **10-11-13**  Preliminary  
 Drawn  Construction  
**SB**  Record  
 Checked  Do not scale  
**GC**  Use figured dimensions only  
 Approved  
**GC**  
 Blotpak Number

Job Number  
**2013090**  
 Title  
**Floor Plans Levels 1 and 2 Student Apartments**

Scale: **1" = 20'-0"**  
 Sheet  
**A1**



**Floor Plan: Level 2**  
 Bedroom Window Locations Vary Per Level - Refer to Elevations  
 0 20 40 80 Feet



**Floor Plan: Level 1**  
 0 20 40 Feet  
 Proposed Shared Access Drive to Woody's Parking Lot

**TROWBRIDGE  
 VILLAGE**  
 LIFESTYLE CENTER  
 EAST LANSING, MI

Revisions

**10-15-13 Land Use  
 Development Application  
 Submission**

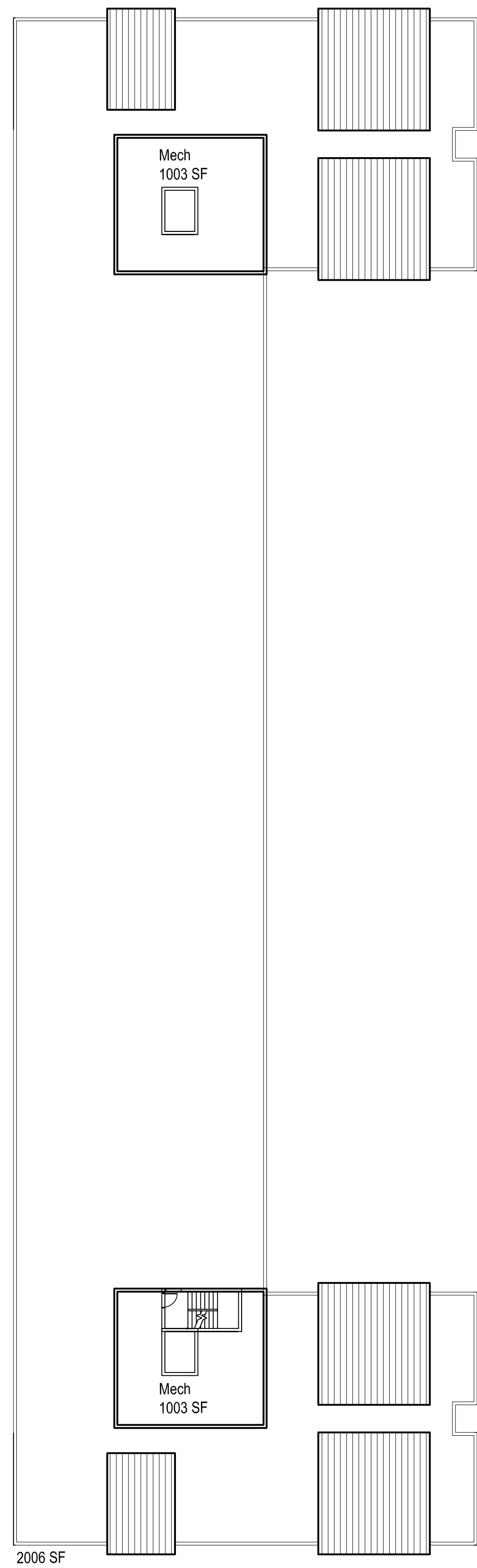
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Drawn	<b>SB</b>	<input type="checkbox"/> Construction
Checked	<b>GC</b>	<input type="checkbox"/> Record
Approved	<b>GC</b>	<input type="checkbox"/> Do not scale Use figured dimensions only
Blockpak Number		

Job Number  
**2013090**

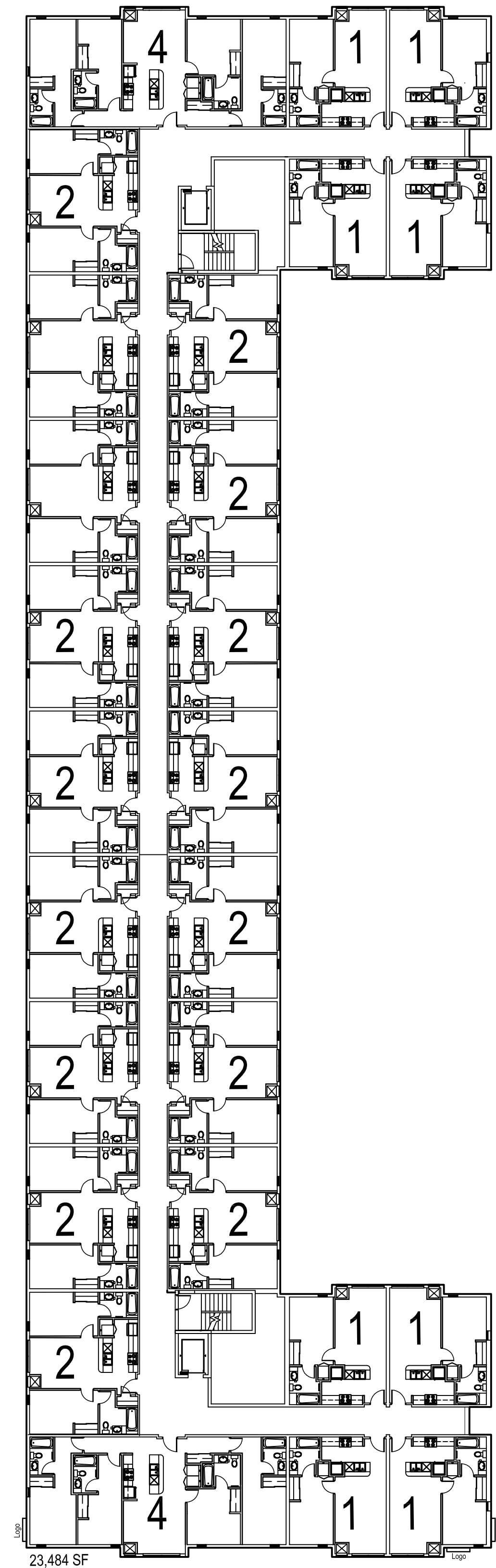
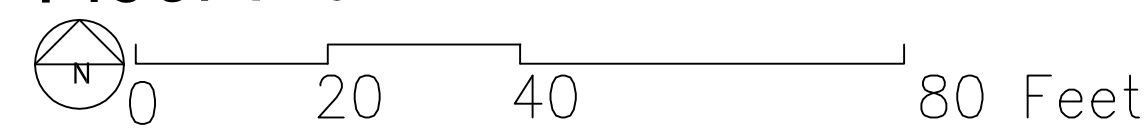
Title  
**Floor Plans  
 Levels 3-5 and Roof  
 Student Apartments**

Scale: 1" = 20'-0"

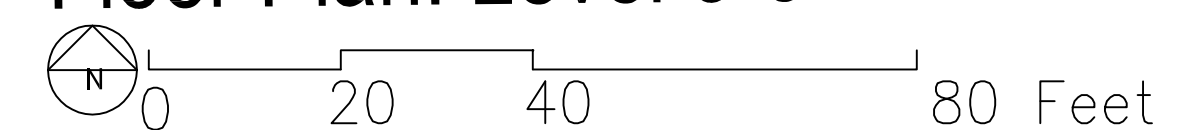
Sheet  
**A2**



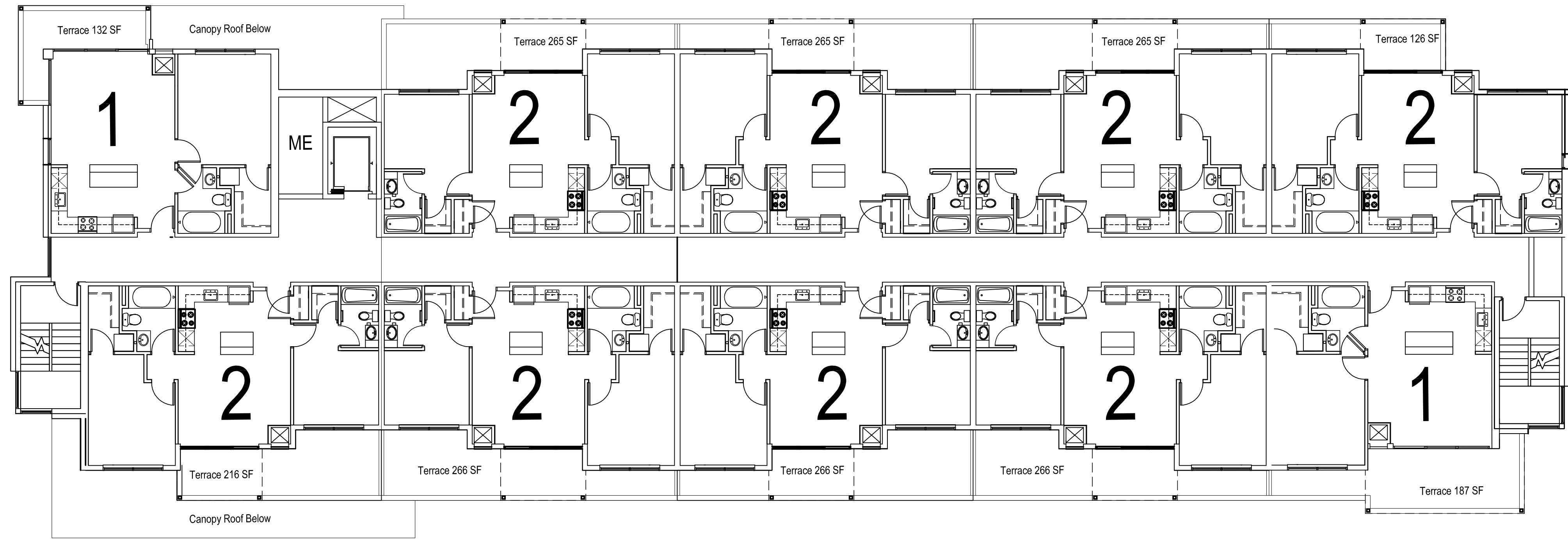
**Floor Plan: Level R**



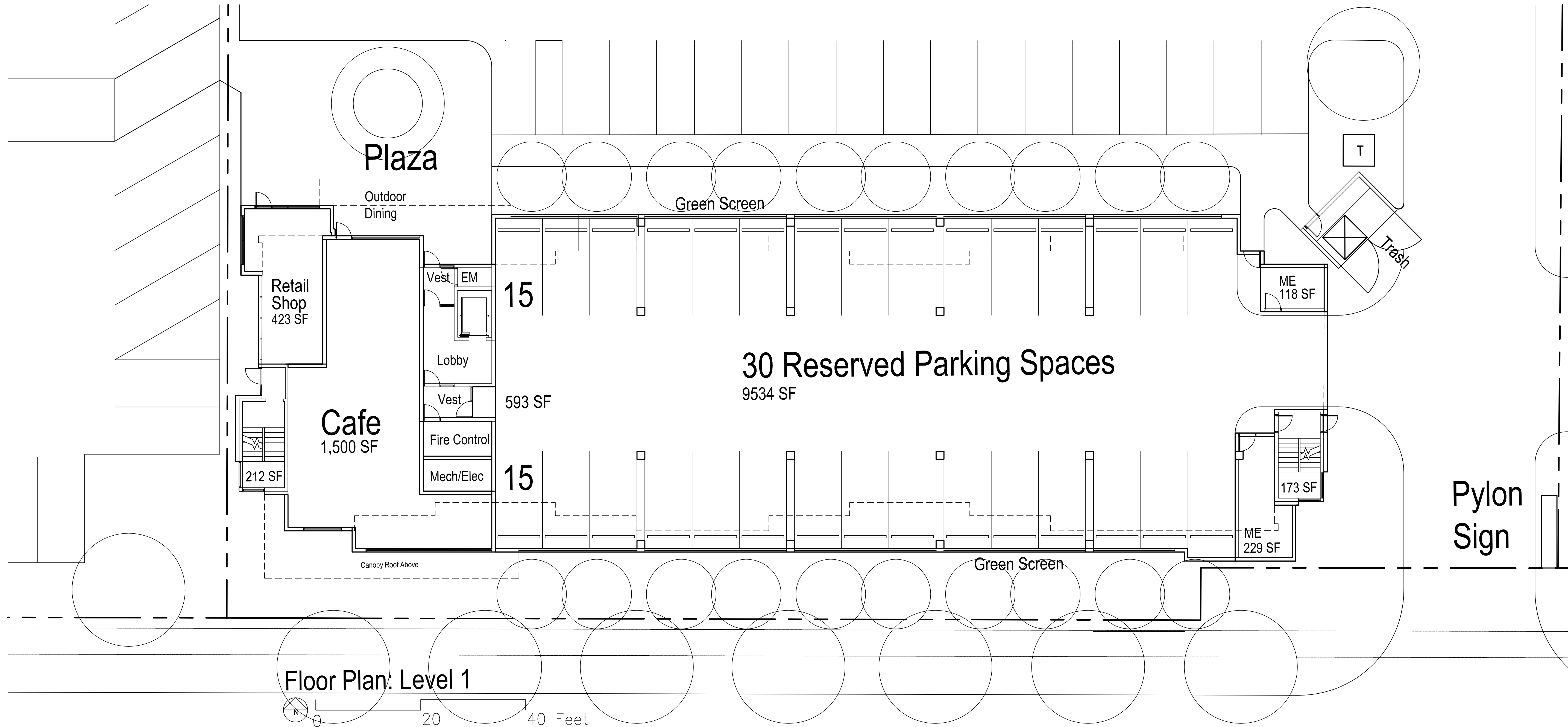
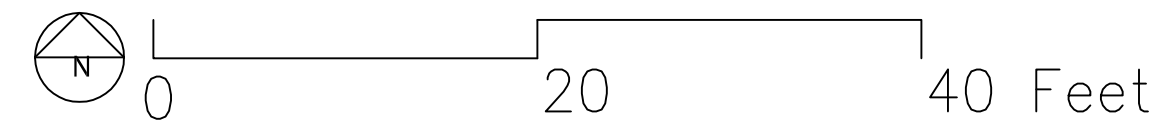
**Floor Plan: Level 3-5**



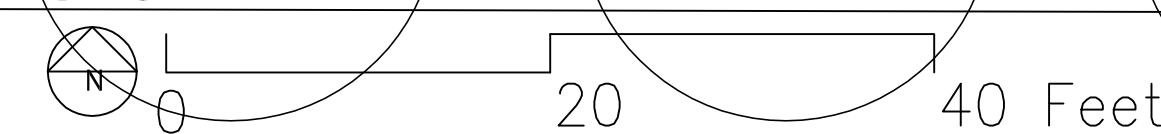
**TROWBRIDGE VILLAGE**  
 LIFESTYLE CENTER  
 EAST LANSING, MI



Floor Plan: Level 2



Floor Plan: Level 1



Revisions

10-15-13 Land Use  
 Development Application  
 Submission

Date	10-11-13	<input checked="" type="checkbox"/> Preliminary
Drawn	SB	<input type="checkbox"/> Construction
Checked	GC	<input type="checkbox"/> Record
Approved	GC	Do not scale Use figured dimensions only
Blotpak Number		

Job Number  
**2013090**

Title  
**Floor Plans  
 Levels 1 and 2  
 Market Rate Apts**

Scale: 1" = 10'-0"  
 Sheet  
**A3**



**TROWBRIDGE VILLAGE**  
LIFESTYLE CENTER  
EAST LANSING, MI

Revisions

**10-15-13 Land Use  
Development Application  
Submission**

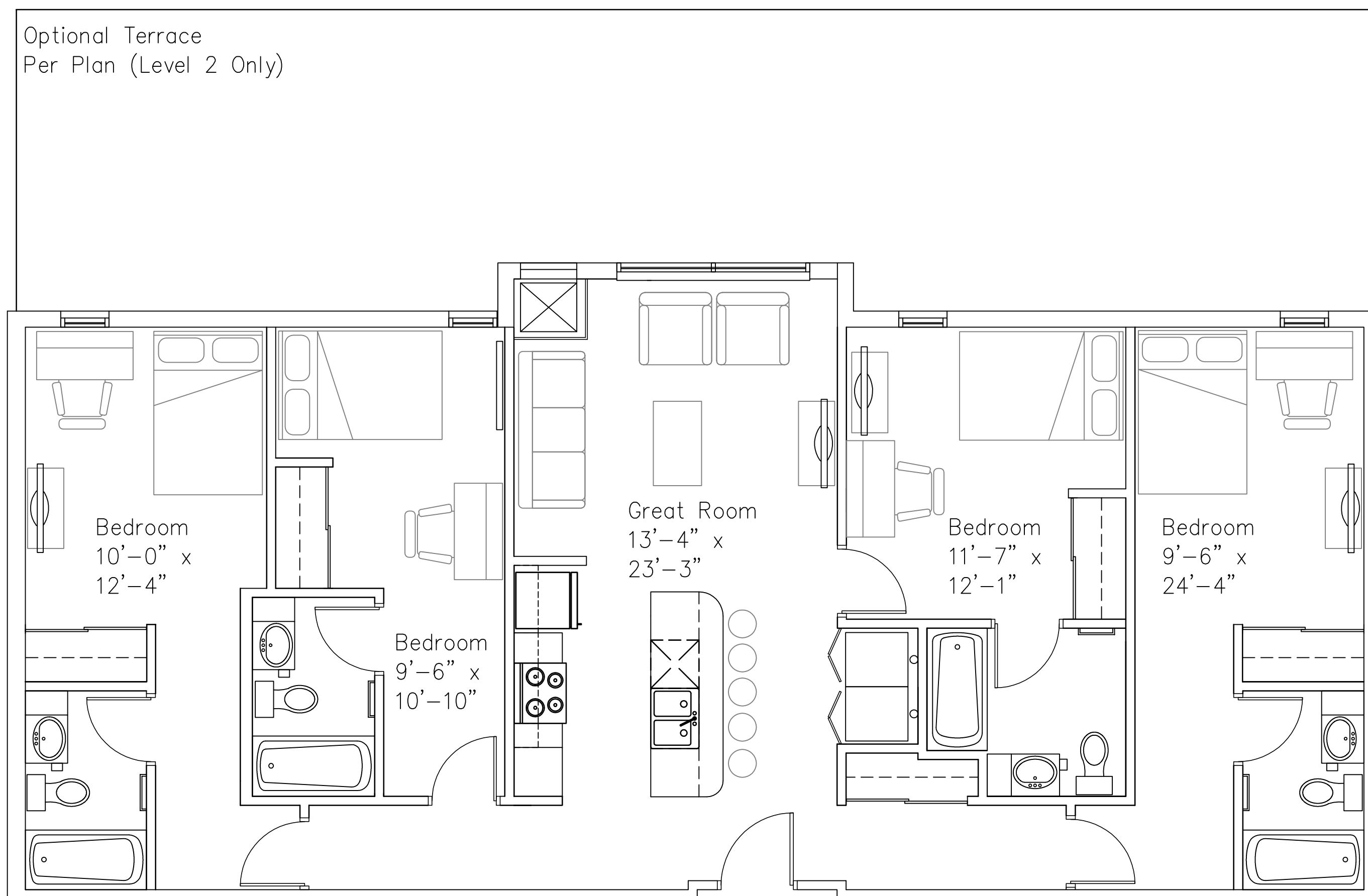
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Blotpak Number: \_\_\_\_\_

Preliminary  
 Construction  
 Record

**Do not scale**  
Use figured dimensions only

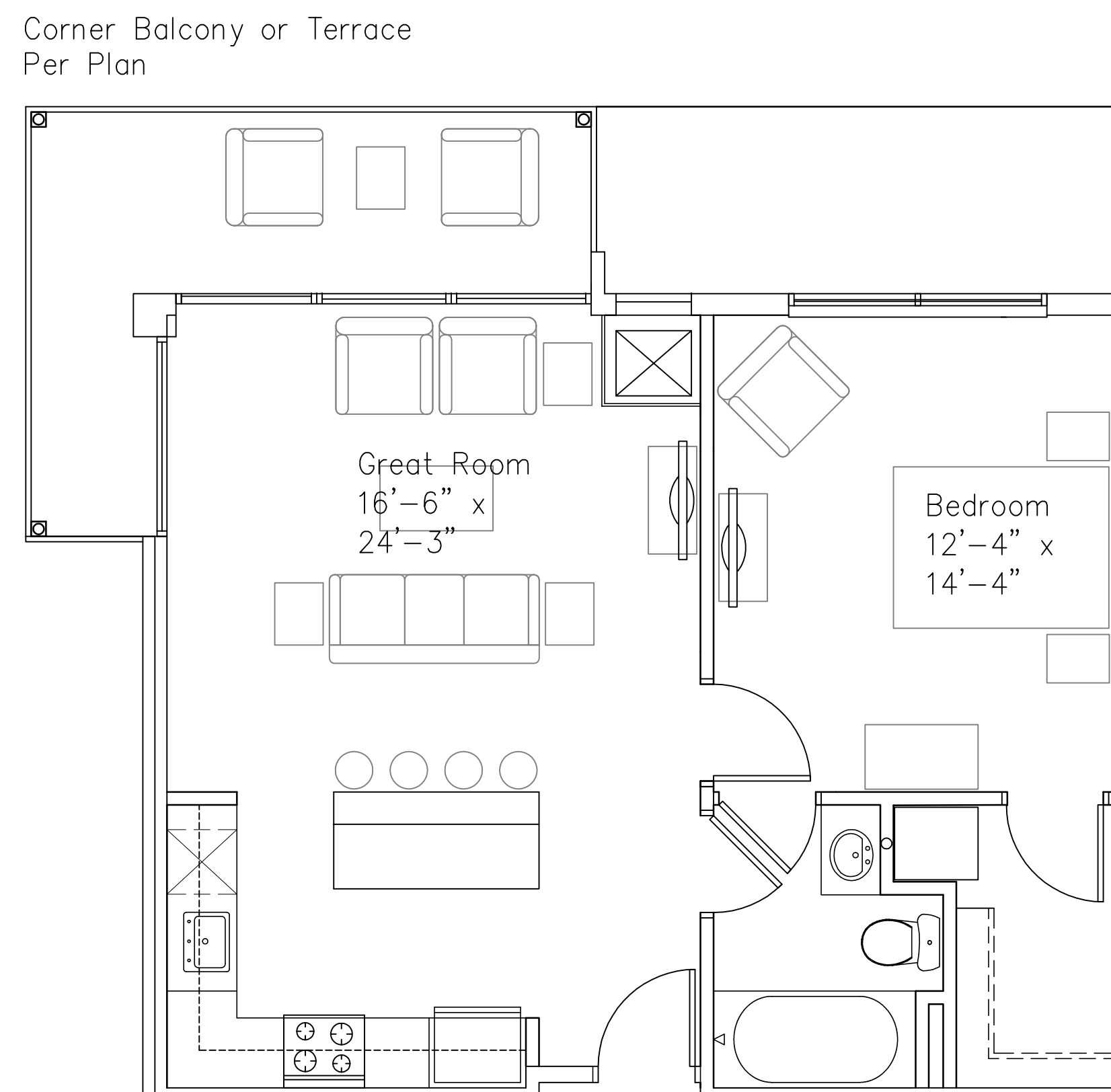
Job Number: **2013090**  
Title: **Floor Plans  
Typical Unit Plans**

Scale: **1/4"=1'-0"**  
Sheet: \_\_\_\_\_  
**A5**



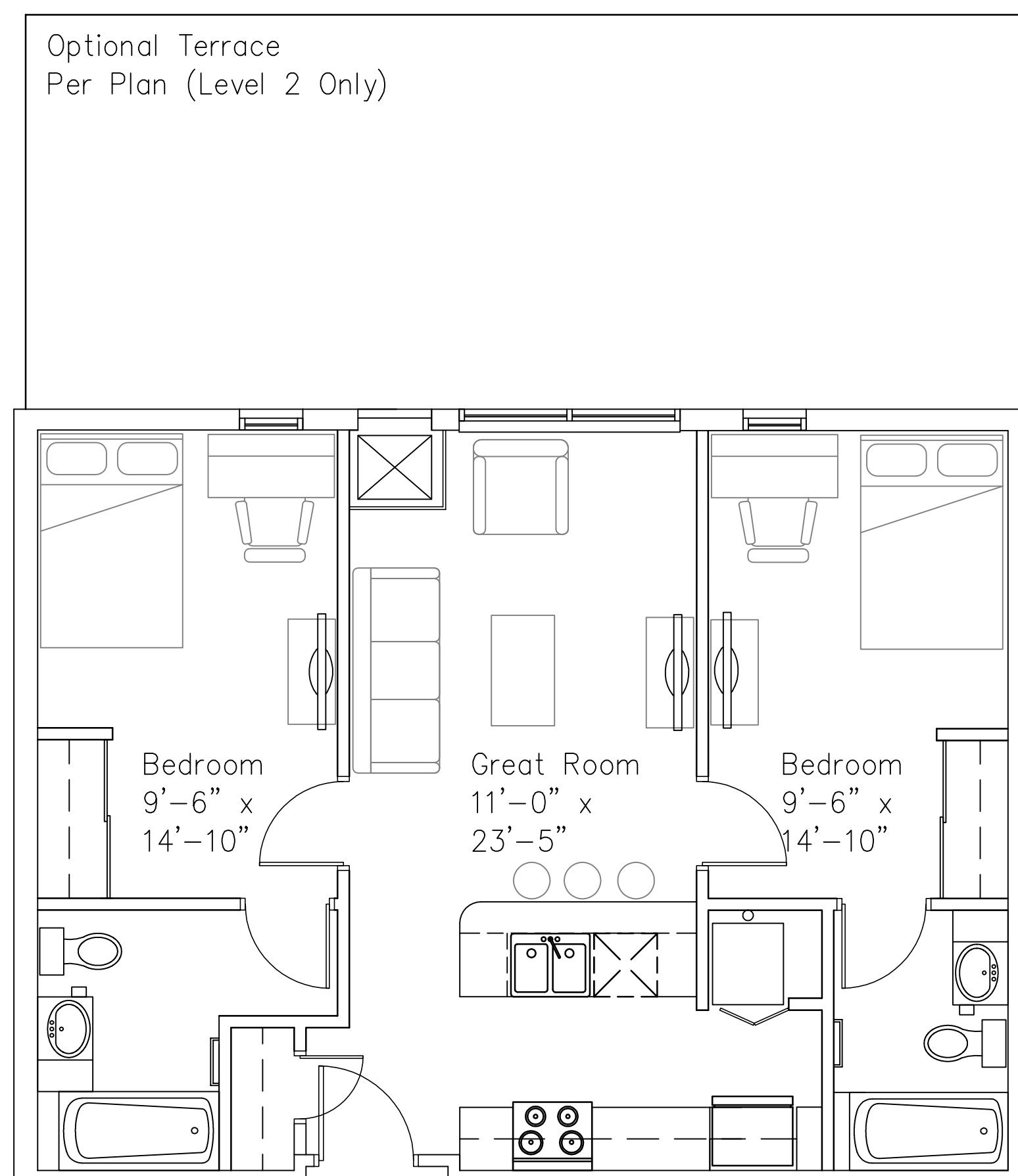
**4 BD STUDENT APT (8 UNITS)**

1400 SF



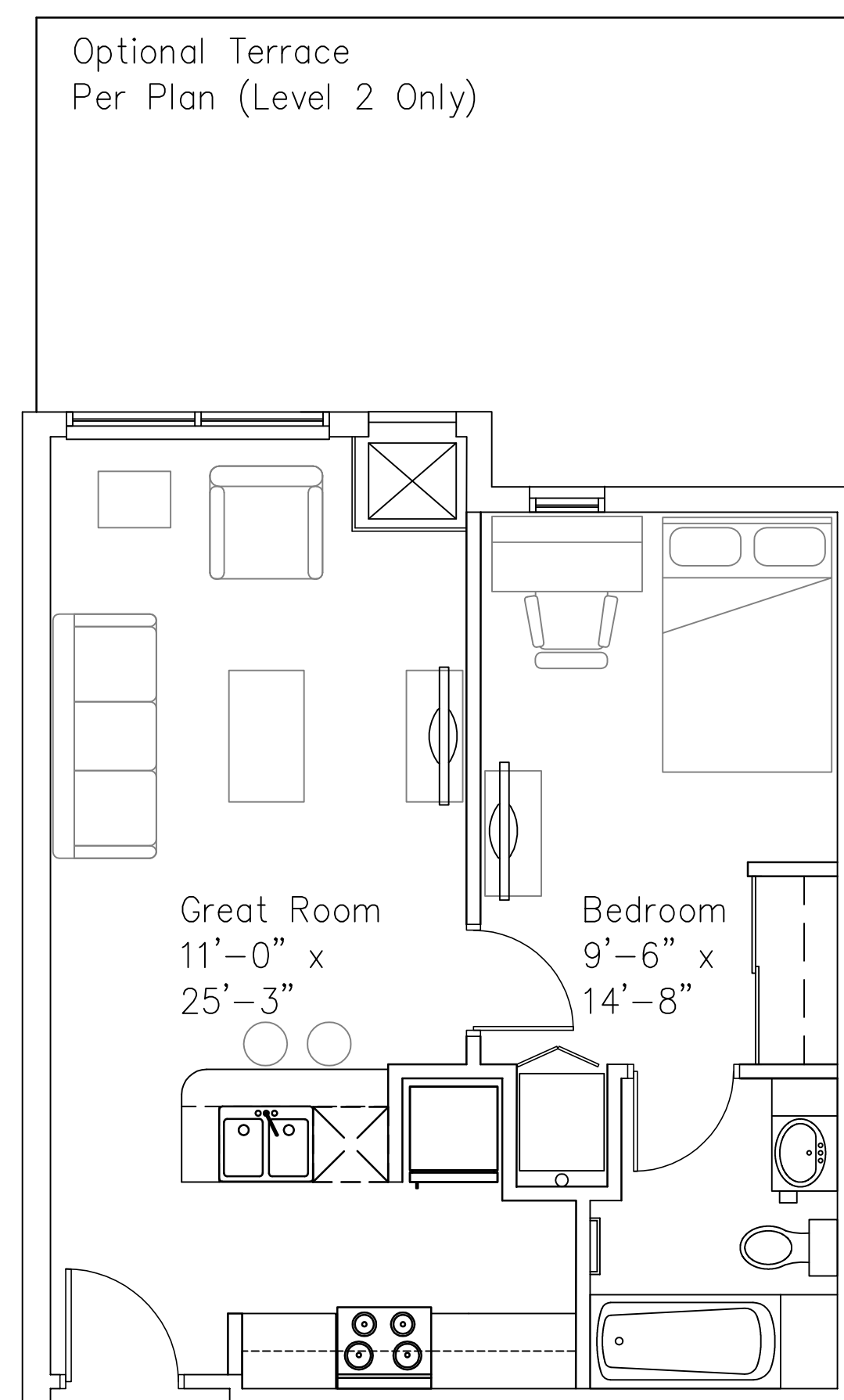
**1 BD MARKET RATE APT (6 UNITS)**

751 SF + Balcony or Terrace



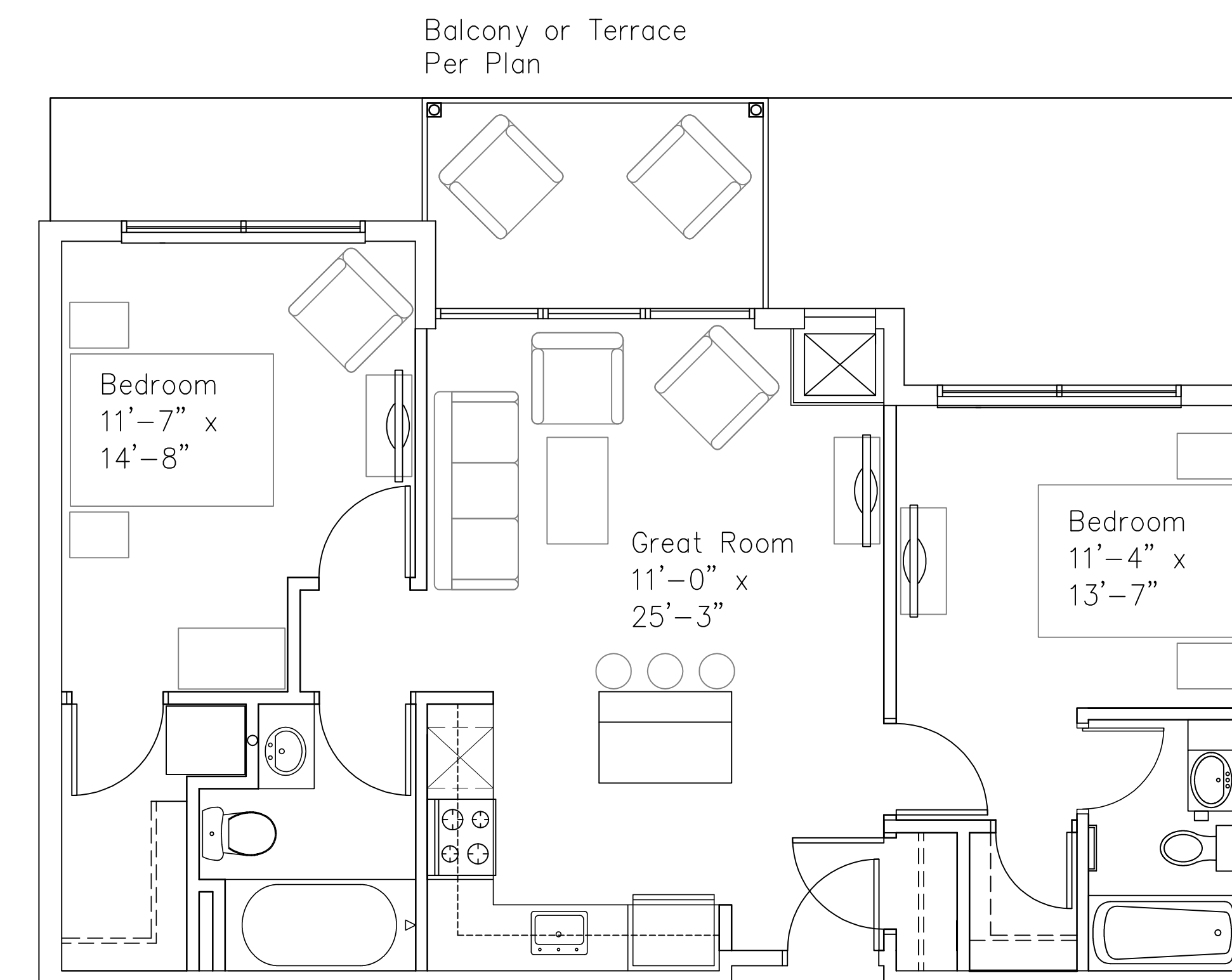
**2 BD STUDENT APT (64 UNITS)**

769 SF



**1 BD STUDENT APT (32 UNITS)**

550 SF



**2 BD MARKET RATE APT (24 UNITS)**

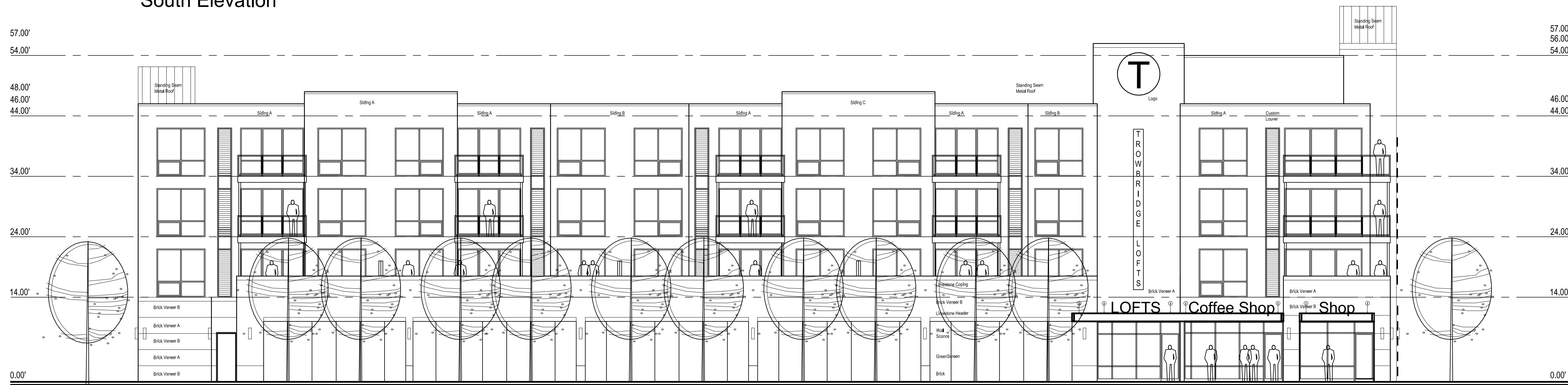
881 SF + Balcony or Terrace

01 5 10

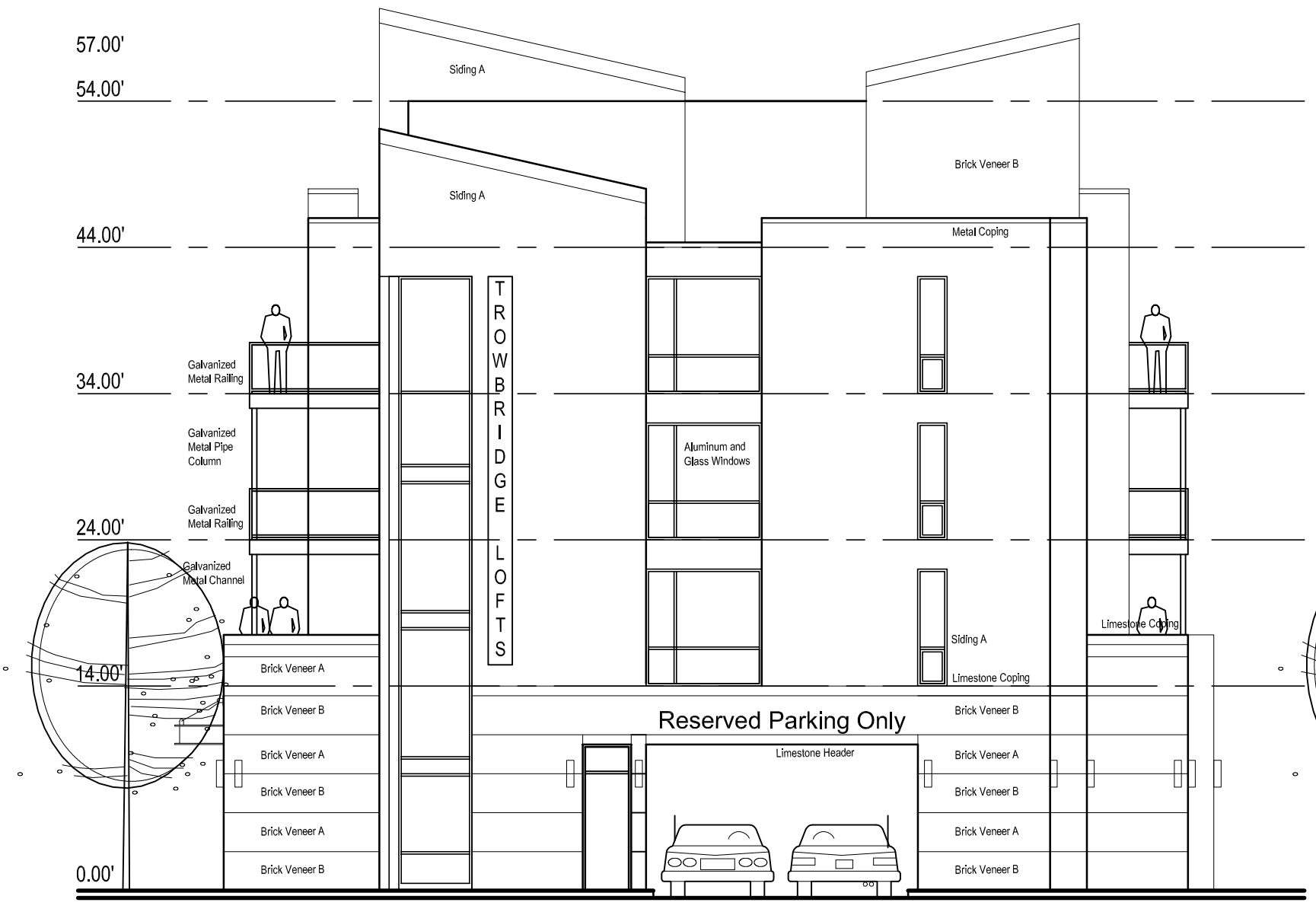
**TROWBRIDGE VILLAGE**  
LIFESTYLE CENTER  
EAST LANSING, MI



South Elevation



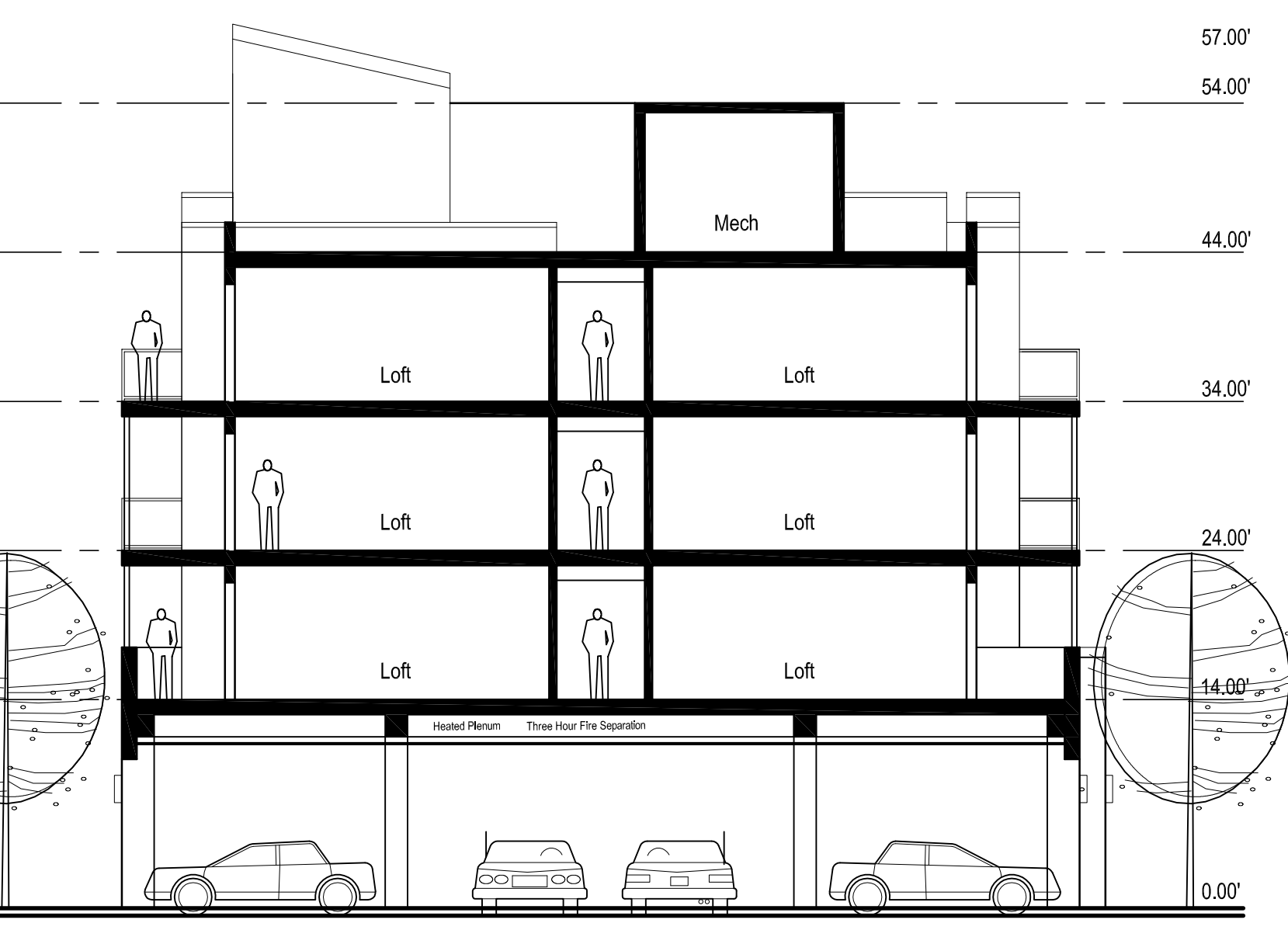
North Elevation



East Elevation



West Elevation



Cross Section

Revisions

10-15-13 Land Use  
Development Application  
Submission

Date  
**10-11-13**  
Drawn  
**SB**  
Checked  
**GC**  
Approved  
**GC**  
Blotpak Number

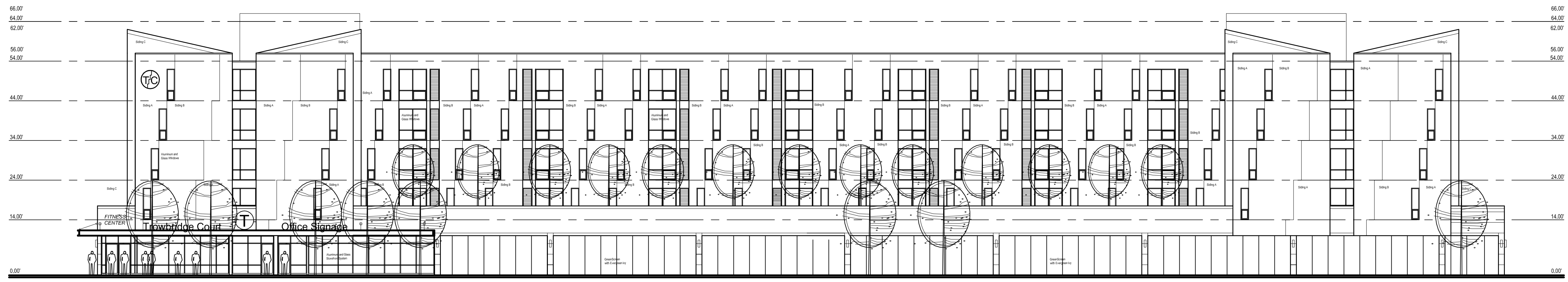
Preliminary  
 Construction  
 Record  
 Do not scale  
Use figured dimensions only

Job Number  
**2013090**

Title  
**Elevations and Cross Section Market Rate Units**

Scale: 1"=10'-0"  
Sheet  
**A6**

**TROWBRIDGE VILLAGE**  
 LIFESTYLE CENTER  
 EAST LANSING, MI



East Elevation



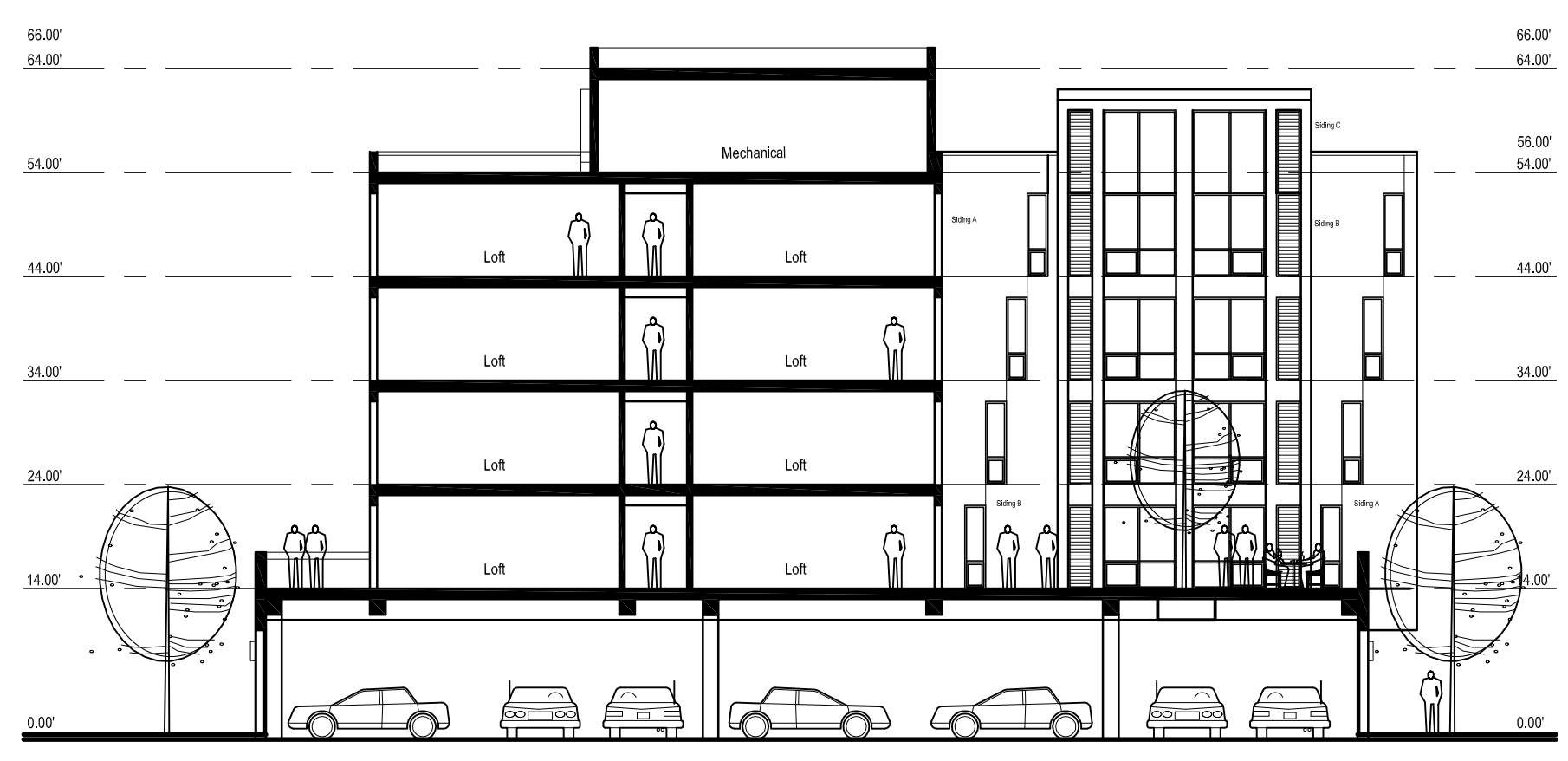
West Elevation



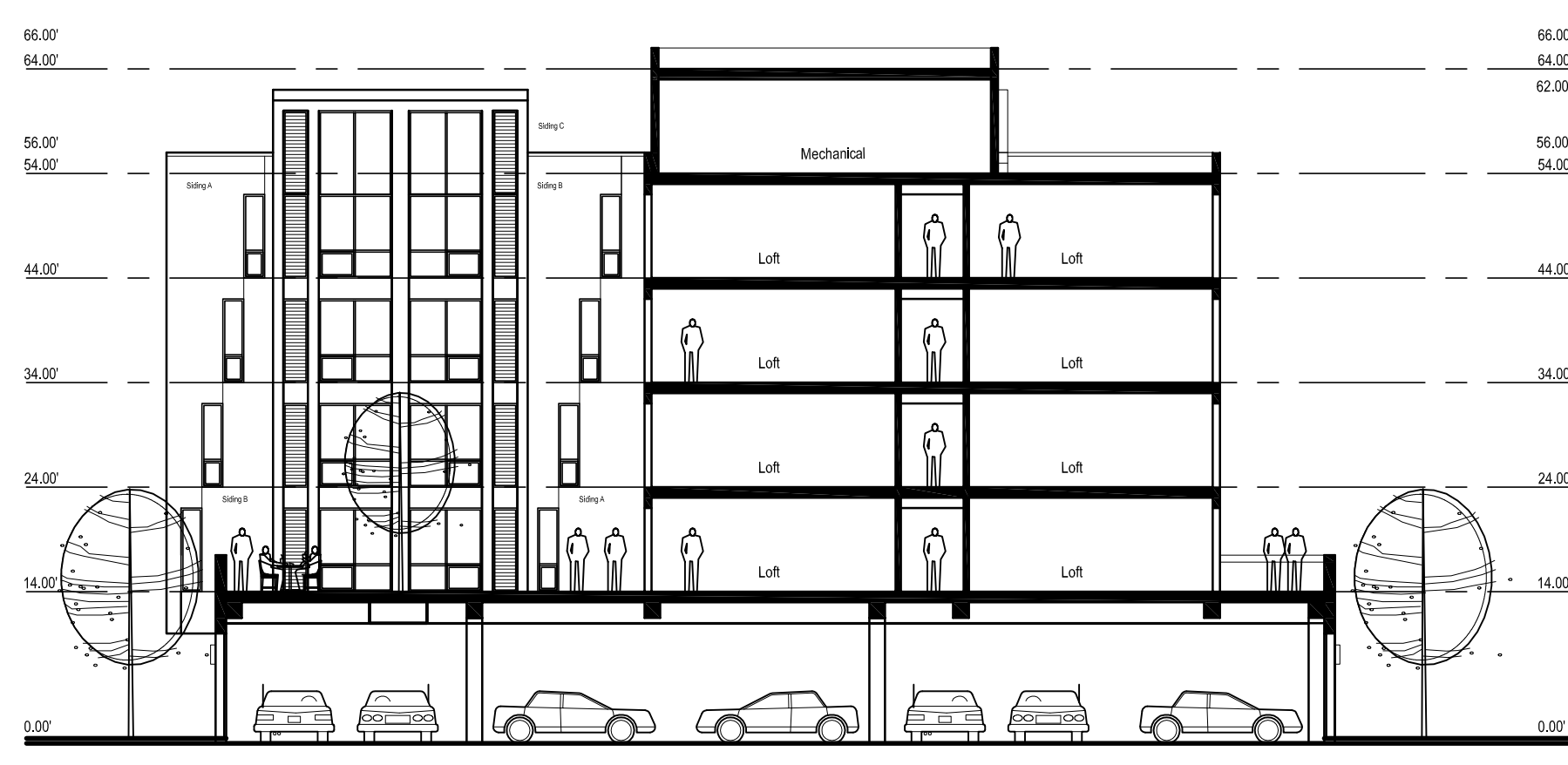
South Elevation (Trowbridge)



North Elevation



Cross Section - South Courtyard Elevation



Cross Section - North Courtyard Elevation

Revisions

**10-15-13 Land Use Development Application Submission**

Date: **10-11-13**  
 Drawn: **SB**  
 Checked: **GC**  
 Approved: **GC**  
 Blotpak Number: \_\_\_\_\_

Job Number: **2013090**  
 Title: **Elevations and Cross Section Student Units**

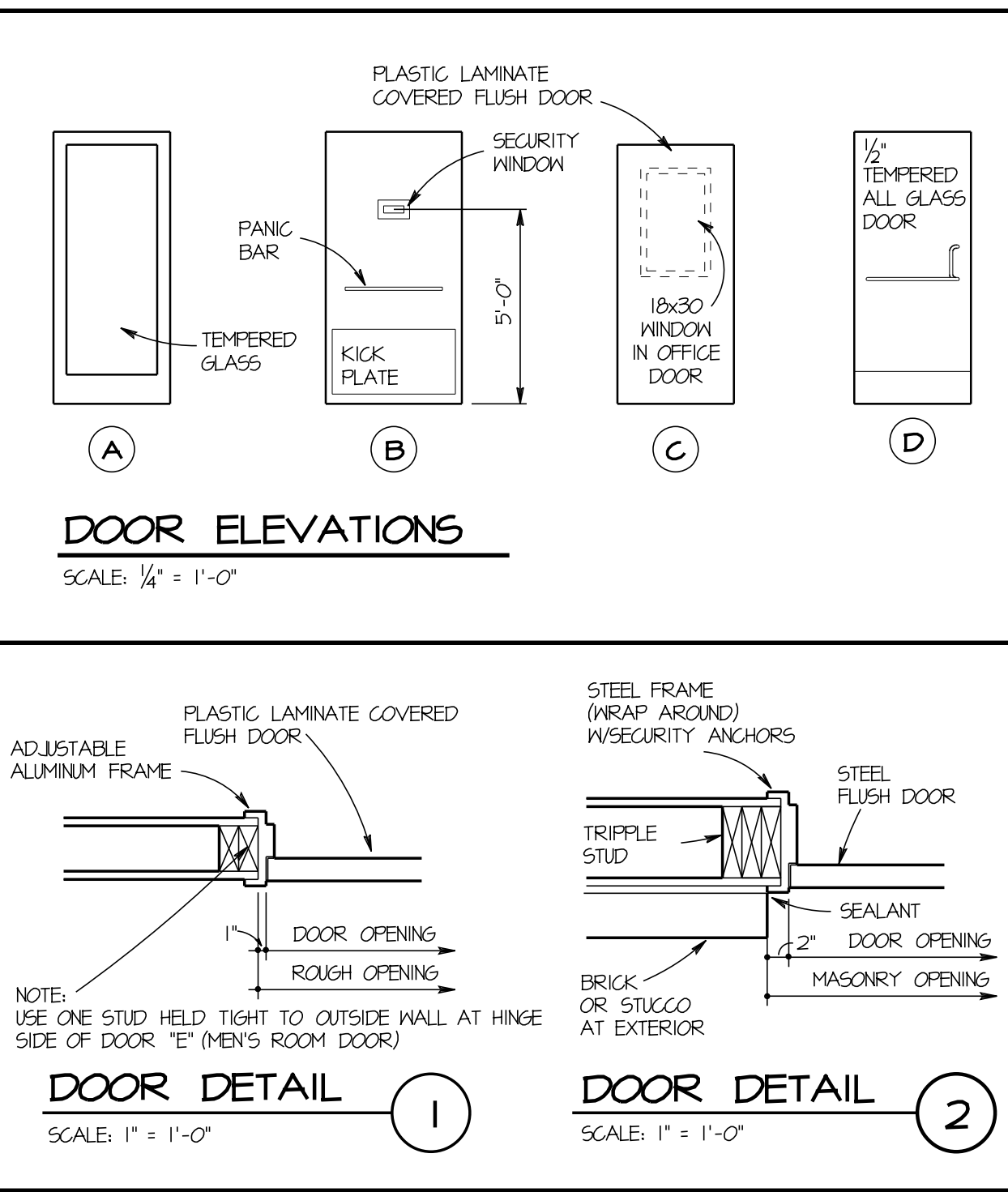
Scale: **1"=16'-0"**  
 Sheet: **A7**

ROOM FINISH SCHEDULE					
SPACE DESIGNATION	ROOM	FLOOR	BASE	WALLS	CEILING
			DECORATIVE TILE QUARRY TILE	HARDWOOD FLOOR (1) F.R.P. DECORATIVE TILE VINYL FABRIC PAINT	SUSPENDED TYPE #1 SUSPENDED TYPE #2 ACOUSTIC WASHABLE DRYWALL HEIGHT
100A	VESTIBULE		DECORATIVE TILE QUARRY TILE		
101	PUBLIC AREA (FRONT DINING)				
101A	PUBLIC AREA (DINING)				
101B	PUBLIC AREA (CORRIDOR)				
102	MEN'S ROOM				
103	WOMEN'S ROOM				
104	CLOSET				
105	SERVING AREA				
106	SERVING AREA				
107	SERVING AREA				
108	PREPARATION AREA				
108A	PREPARATION AREA				
109	OFFICE				
110	DRY STORAGE AREA				
111	NOT USED				
112	COOLER/FREEZER				
113	EQUIPMENT CLOSET				

1 SEE SHEET 6A AND 6B FOR WALL FINISHES IN THIS AREA.  
2 SEE SHEET 13 FOR CEILING TYPES AND HEIGHTS

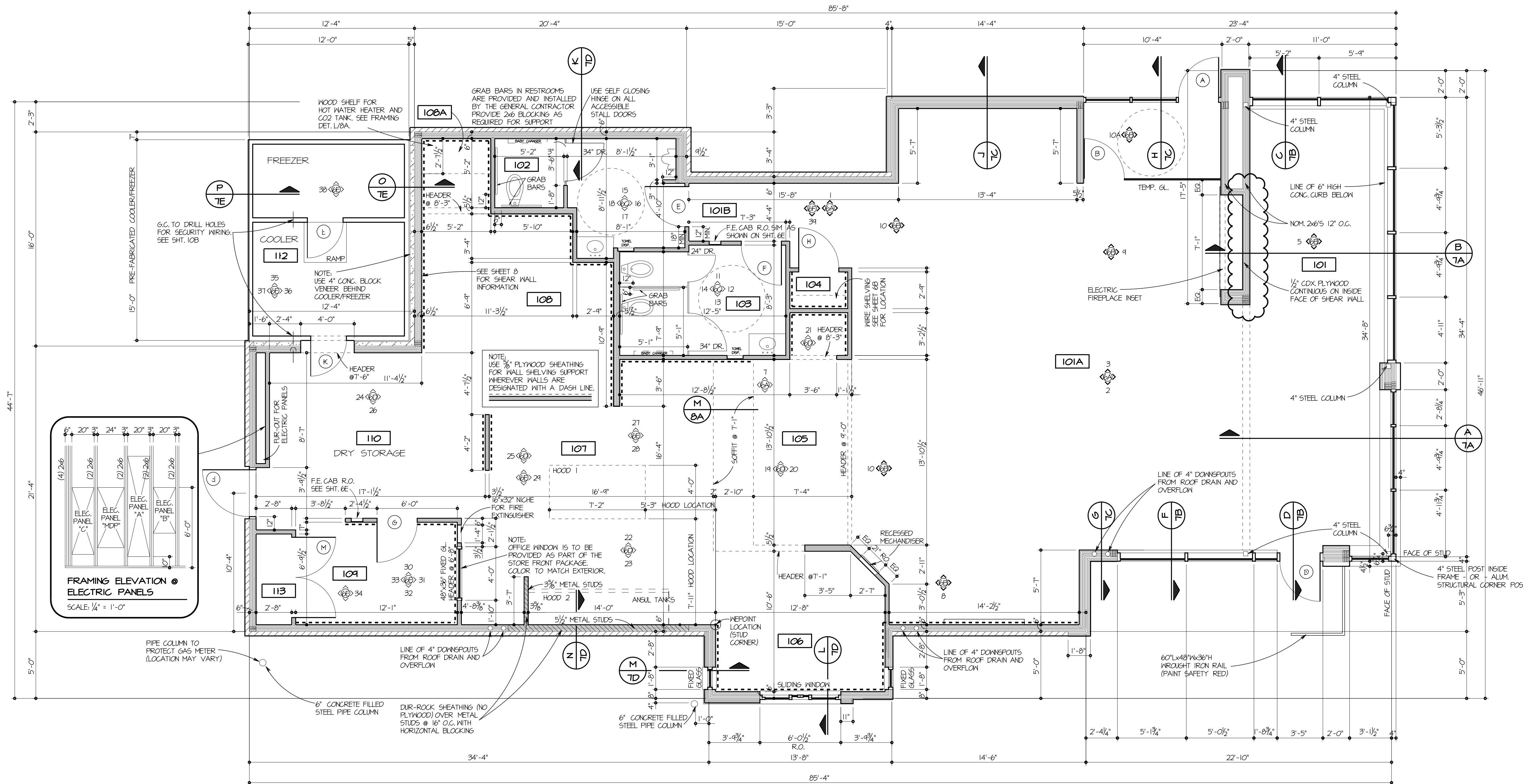
DOOR AND HARDWARE SCHEDULE										
DOOR	TYPE	FRAME	HINGES	LATCH-CATCHES	ACC.					
LOCATION	LEAF SIZE	ELEVATION								
(A)	3'0" x 7'0"	A								
(B)	3'0" x 7'0"	D								
(C)	NOT USED									
(D)	3'0" x 7'0"	A								
(E)	3'0" x 6'6"	C								
(F)	3'0" x 6'6"	C								
(G)	3'0" x 6'6"	C								
(H)	3'0" x 6'6"	C								
(I)	3'0" x 6'6"	C								
(J)	3'0" x 6'6"	C								
(K)	3'0" x 7'0"	B								
(L)	DEL 3'0" x 6'6"	C								
(M)										

1 FOR PLASTIC LAMINATE COVERED FLUSH DOOR WITH ADJUSTABLE ALUMINUM FRAME, USE "AAA" SERIES 500 AS MANUFACTURED BY MARLITE. ROUGH OPENING IS TO BE 2" WIDER AND 1" TALLER.  
2 USE 3/8" SCREWS ON ALL DOOR HINGES.  
3 "MEN" OR "WOMEN" TOILET ROOM SIGN  
4 "EMPLOYEES ONLY" SIGN  
5 SEE SPECIFICATIONS FOR DOOR HARDWARE  
6 HEAVY DUTY CLOSER, AMERICAN DEVICE SERIES - 6201 OR LCN 4021  
7 LOCK CYLINDERS MAY BE BY "FALCON" OR AS DIRECTED BY THE REGIONAL ENGINEER.  
8 DOOR AND HARDWARE FURNISHED WITH GOLD STORAGE BOX  
9 DOOR VIEWER, NATIONAL GUARD PRODUCTS 6x2 VGLF-IND, SECURITY VISION WINDOW  
10 NO EXTERIOR HARDWARE



- GENERAL NOTES**
- ALL PARTITIONS NOT DIMENSIONED ARE 3/2" WOOD STUDS. (METAL STUDS MAY BE USED, ALL DIMENSIONS MUST BE ADJUSTED.)
  - PROVIDE BLOCKING AS REQUIRED IN FRAME WALLS.
  - RIGID ROOF INSULATION IS FIBERBOARD - NOT FOAM.
  - EXTERIOR DIMENSIONS ARE FROM OUT TO OUT OF PLYWOOD SHEATHINGS.
  - INTERIOR DIMENSIONS ARE FROM FACE TO FACE OF FRAMING.
  - CROSSHATCHED INTERIOR WALLS INDICATE GALVANIZED STEEL STUDS 16" O.C.
  - STAINLESS STEEL PANELS ON DUR-ROCK SHEATHING BEHIND ALL COOKING EQUIPMENT, TO EXTEND 18" FROM EDGES OF EQUIPMENT. (BY KITCHEN EQUIPMENT SUPPLIER.)

**ATTENTION ALL BIDDERS**  
REFER TO WENDY'S APPROVED SUPPLIER LIST ON SHEET S-5 TO OBTAIN NATIONAL ACCOUNT PHONE NUMBERS AND CONTACTS



THE DRAWINGS INCLUDED HEREIN ARE PROVIDED FOR THE LISTED CONDITIONS AND HAVE BEEN ENGINEERED FOR THE LISTED CONDITIONS OR TO OBTAIN A BUILDING PERMIT. FINAL PERMIT AND CONSTRUCTION DRAWINGS SHALL BE OBTAINED THROUGH THE ARCHITECT AND ENGINEER WHO SHALL PROVIDE SITE SPECIFIC AND ENGINEERING SERVICES WHO SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF A PROJECT. THIS NOTE SHOULD BE DELETED AFTER READING.

**Wendy's**

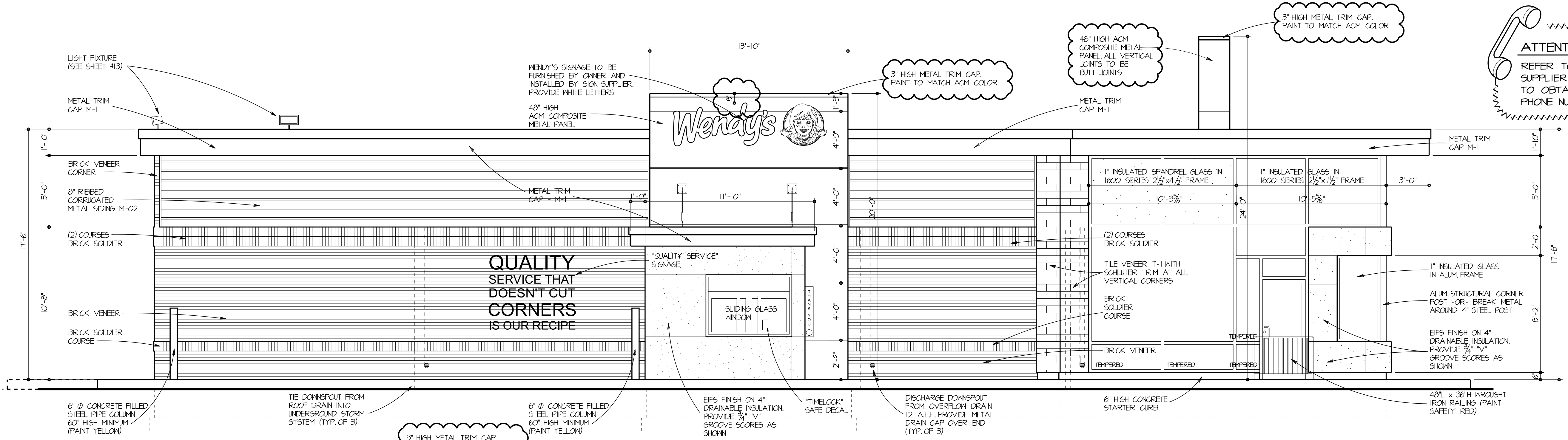
FLOOR PLAN

WENDY'S STREET ADDRESS CITY, STATE  
WENDY'S STORE No. 2013 TIER 1/TIER 3 E2000 NEW BUILD

SEAL

PLAN No. E2000  
JOB No. SHEET No. 4  
TIER 1/ TIER 3

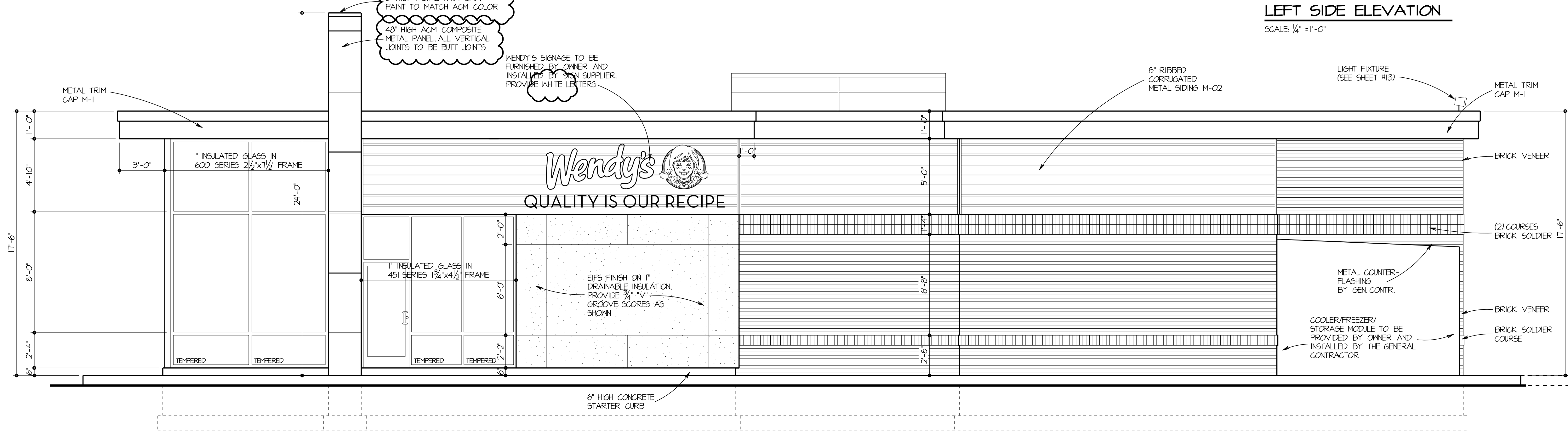
NO.	DATE	BY	REVISIONS
1	4-17-13	KE	SINGLE FIREPLACE
2			
3			
4			
5			
6			



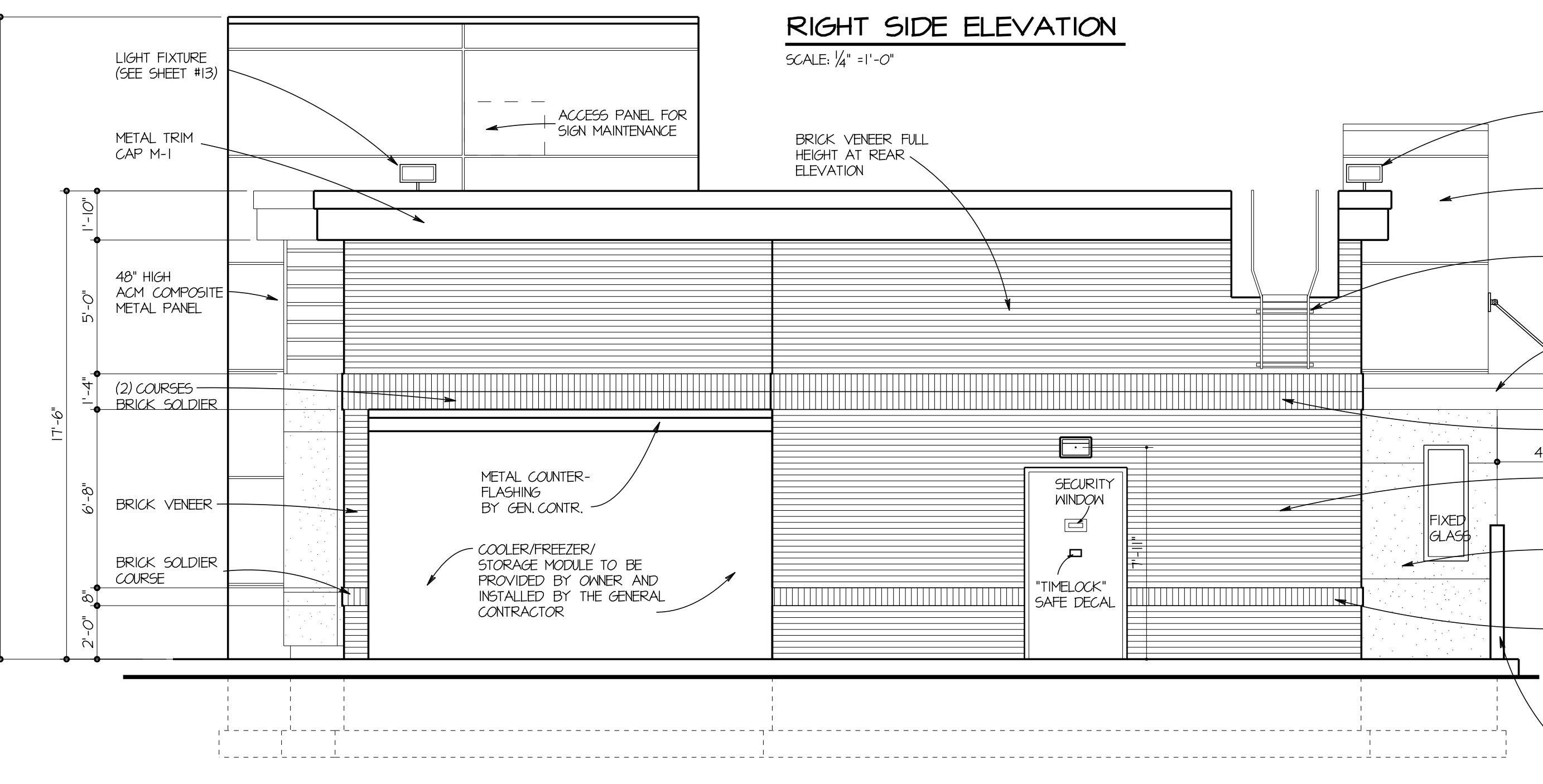
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

ENVELOPE COMPLIANCE	
ROOF	R-20
WALLS	R-21
WINDOWS	U=0.44, SHGC=0.60
GLASS DOORS	U=1.0, SHGC=0.60

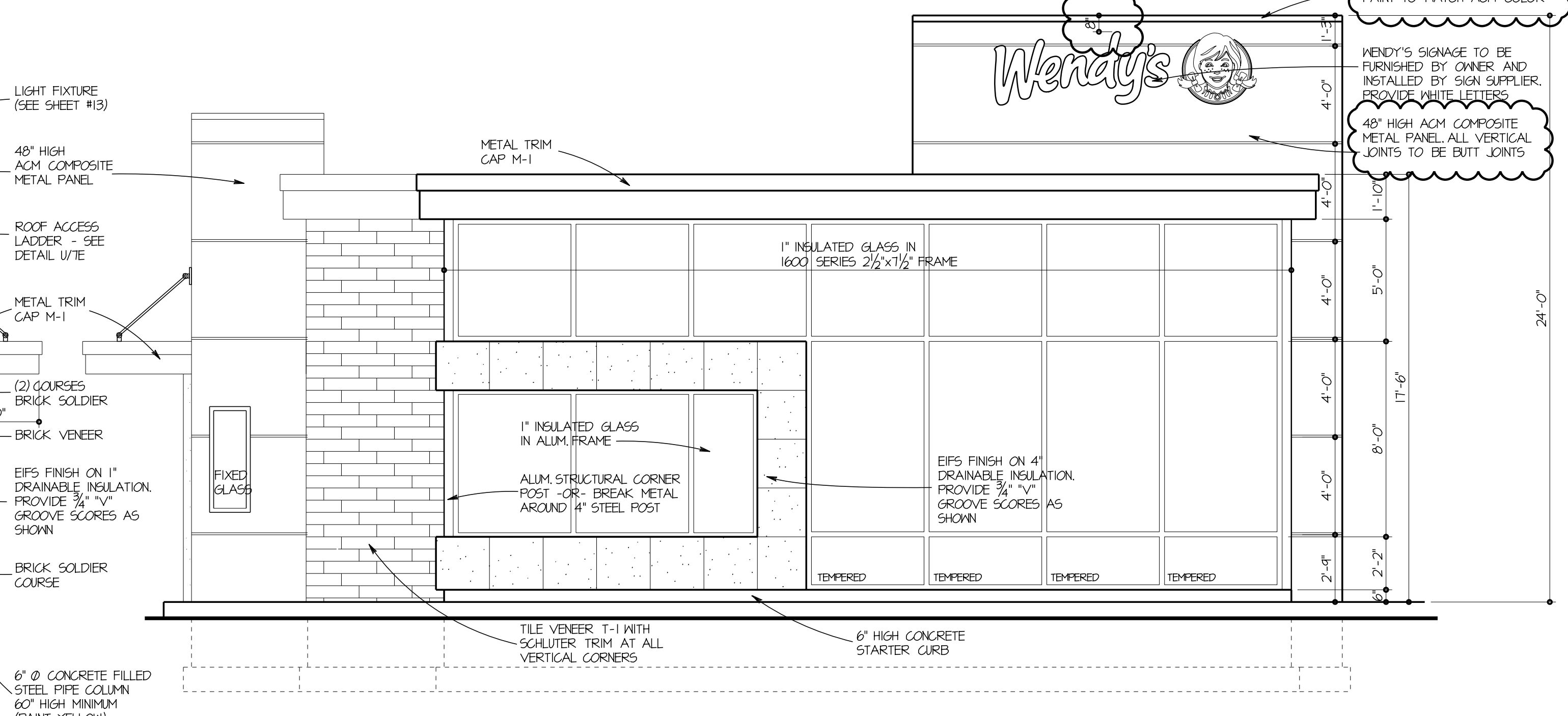
NOTE: SEE SHEET F1 FOR ALL FINISHES



**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**ATTENTION ALL BIDDERS**  
REFER TO WENDY'S APPROVED SUPPLIER LIST ON SHEET S-4 TO OBTAIN NATIONAL ACCOUNT PHONE NUMBERS AND CONTACTS

THE DRAWINGS INCLUDED HEREIN ARE PROVIDED FOR THE LISTED LOADING CONDITIONS AND HAVE BEEN ENGINEERED FOR THE LISTED LOADING CONDITIONS. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION OR TO OBTAIN A BUILDING PERMIT. FINAL REVIEW AND CONSTRUCTION REGISTERED ARCHITECT AND ENGINEERS WHO SHALL PROVIDE SITE SPECIFIC CODE COMPLIANT DOCUMENTS. THIS NOTE SHOULD BE DELETED AFTER READING.

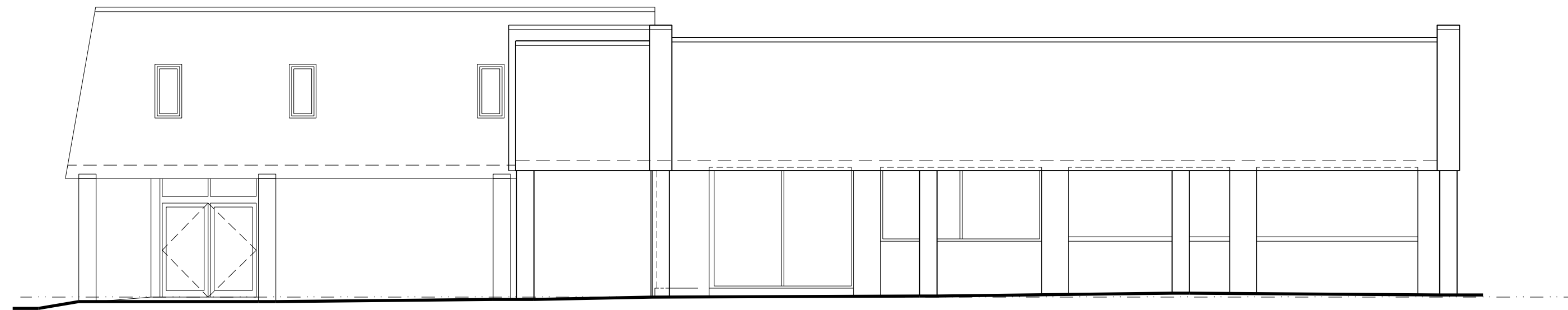
**Wendy's**

EXTERIOR ELEVATIONS

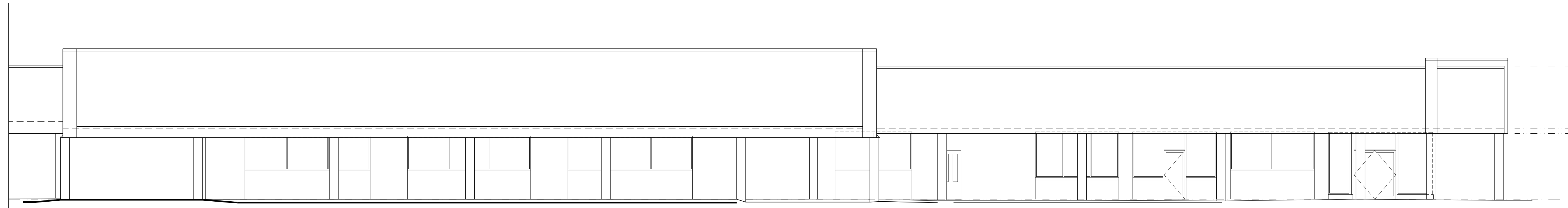
WENDY'S  
STREET ADDRESS  
CITY, STATE  
  
WENDY'S STORE No.  
2013 TIER 1/TIER 3  
E2000 NEW BUILD

SEAL

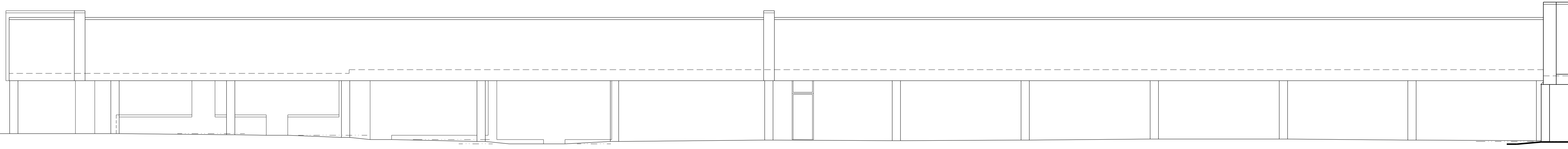
PLAN No. 2013	E2000
JOB No.	SHEET No.
TIER 1/ TIER 3	5



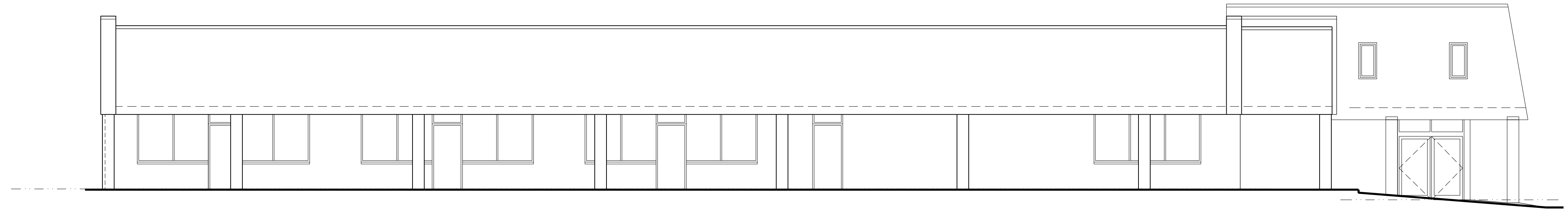
1 EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

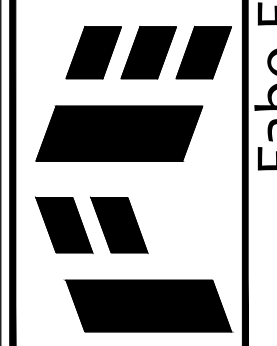


3 EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"

Architecture  
Interior Design  
Planning

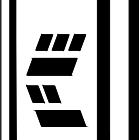


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**TROWBRIDGE VILLAGE FACADE REIMAGING**

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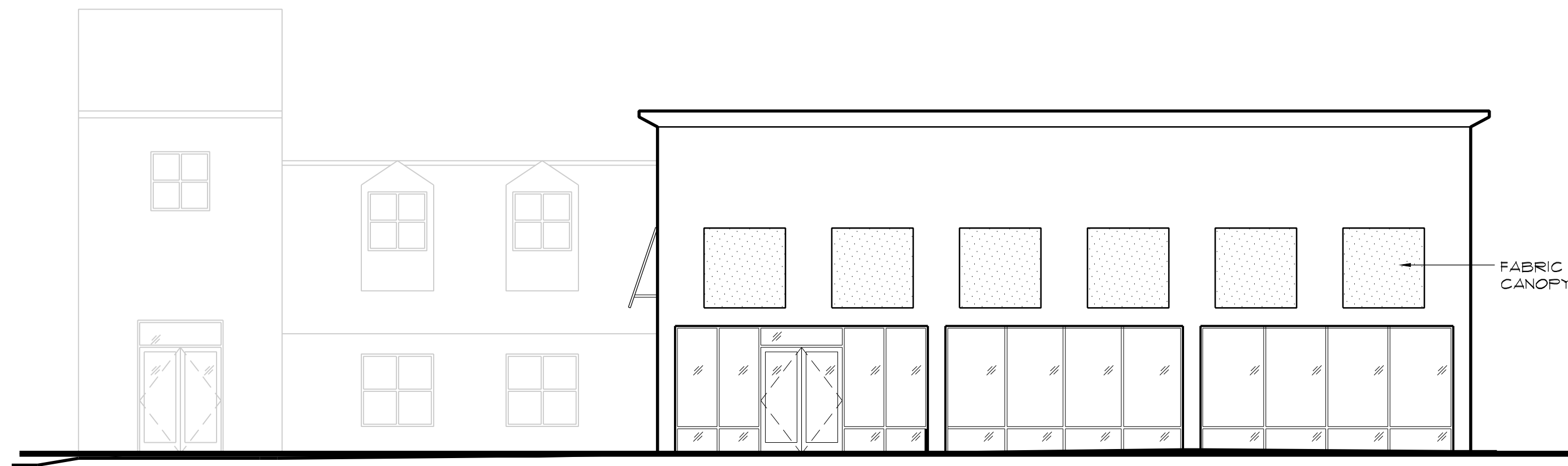
REVISIONS

1	2	3	4	5	6
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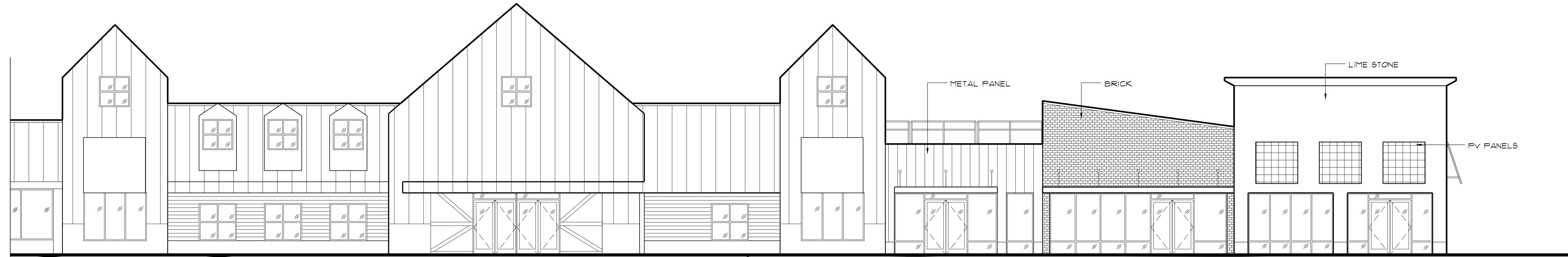
DATE 10-10-2013

JOB NO. FE13237

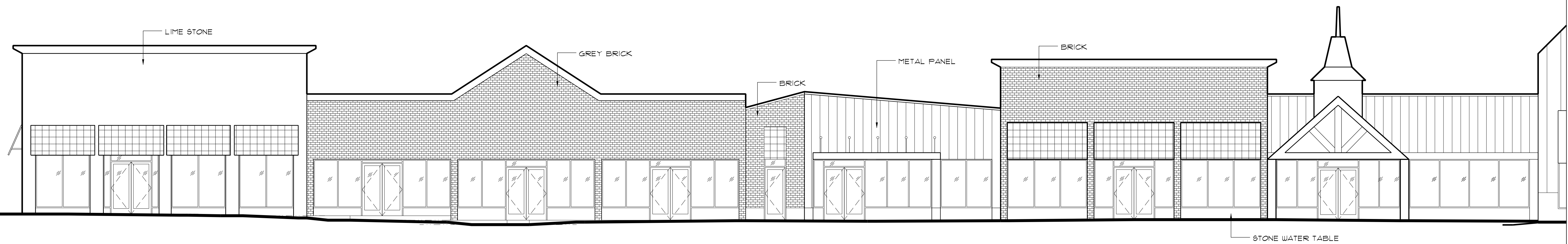
SHEET NO.



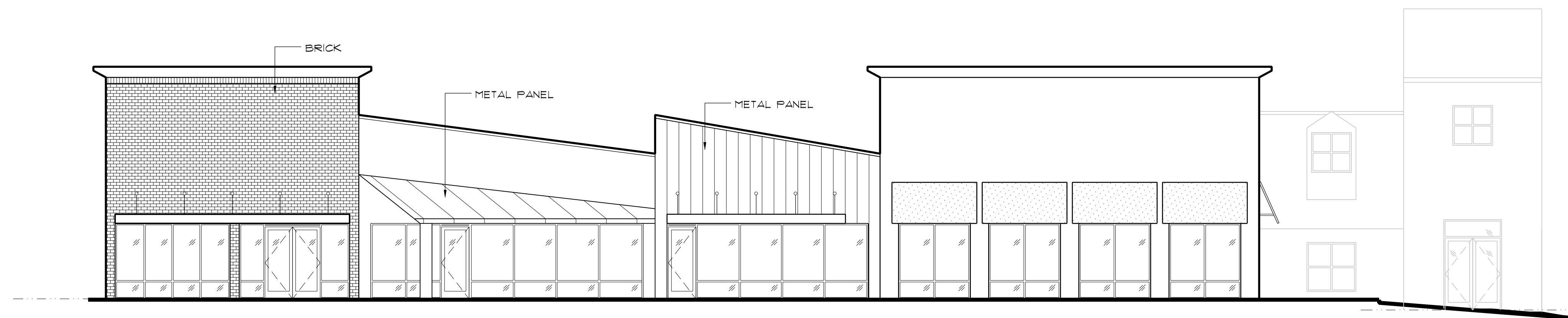
1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

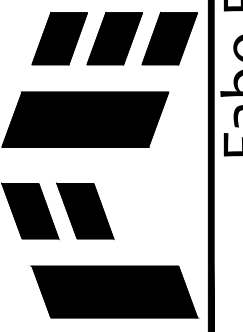


3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

Architecture  
Interior Design  
Planning



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REVISIONS	1	2	3	4	5	6
DATE	10-10-2013					
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